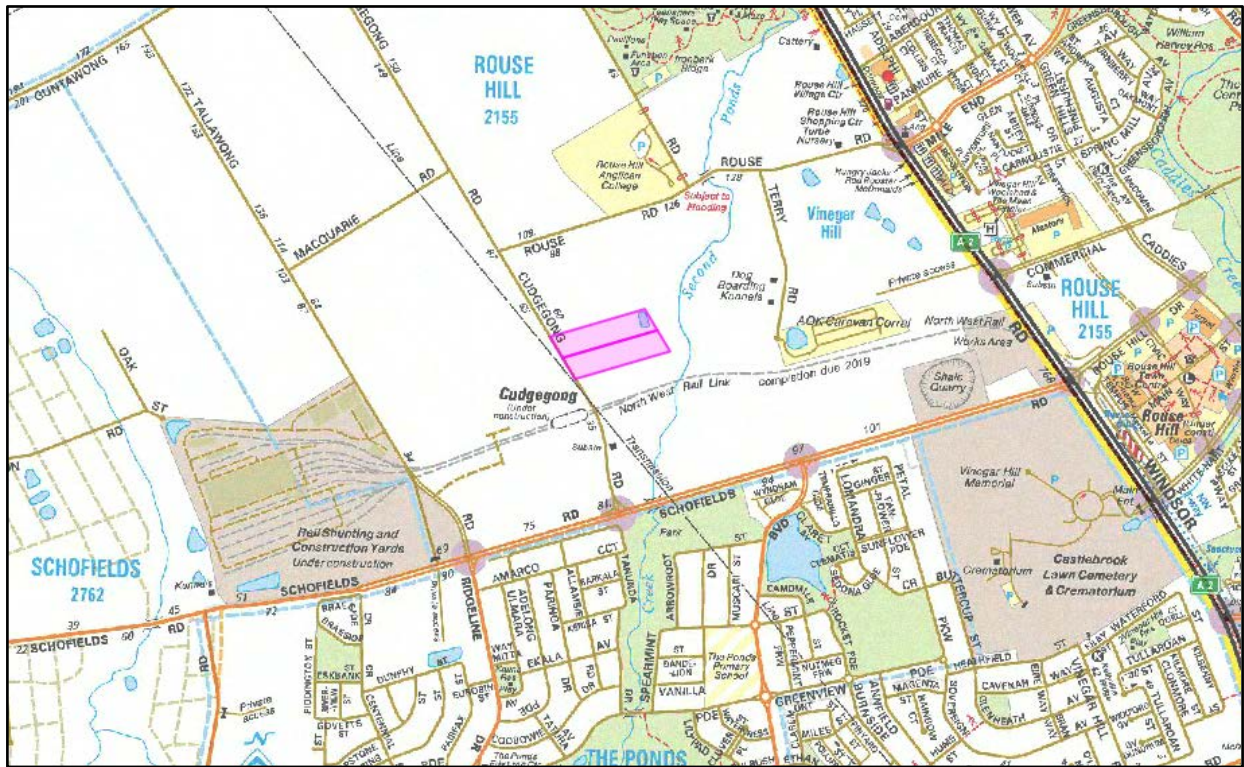


Location map



Cudgong Road (Area 20) Precinct plan extract



Draft conditions of Consent

Proposed Development: Construction of 10 residential flat buildings comprising 711 apartments, 1,057 car parking spaces with three basement levels and associated landscaping, new road construction and dedication and stormwater drainage works.

Property Description: Lots 117 and 118 DP 208203
44 and 56 Cudgegong Road, ROUSE HILL

PART 1

Deferred Commencement Matters

The following are deferred commencement conditions imposed under Section 4.16(3) of the *Environmental Planning and Assessment Act 1979*.

Under Section 4.16(3) of the *Environmental Planning and Assessment Act 1979*, the Applicant must satisfy the following deferred commencement conditions of consent prior to the development consent becoming operative:

- 1.1 The planning agreement for the restriction of the height of the development between CDMA Australia Pty Limited and Metro Award Rouse Hill Pty Limited and Blacktown City Council, the subject of the offer made by the applicant to the Council dated 20 February 2018 is to be executed and submitted to the Council within 3 months of the date of this consent. If it is not provided by this time, the consent will lapse pursuant to section 4.53(6) of the Act.
- 1.2 The consent will not become operative until the Council gives written notification to the applicant that the requirements of Condition 1.1 has been satisfied and thereafter, the consent will become operative from the date of that notification subject to the conditions set out below.

PART 2

1 ADVISORY NOTES

1.1 Terminology

- 1.1.1 Any reference in this consent to a Construction, Compliance, Occupation or Subdivision Certificate is a reference to a certificate as defined by Section 109C of the *Environmental Planning and Assessment Act 1979*.

1.2 Scope of Consent

- 1.2.1 Separate development consent may be required from Council prior to the use of each individual unit/the approved building(s). The applicant is advised to contact Council's Development Services Unit in this regard.
- 1.2.2 The granting of this consent does not imply or confer compliance with the requirements of the Disability Discrimination Act 1992. The applicant is advised to investigate any

liability that may apply under that Act. The current suite of Australian Standard 1428 - Design for Access and Mobility, should be consulted for guidance. The prescriptive requirements of Part 1 of the Standard apply to certain buildings requiring development consent.

1.3 Other Approvals

- 1.3.1 A separate valid Construction Certificate shall be issued prior to commencement of any construction works.
- 1.3.2 This consent does not authorise the encroachment or overhang of any building or structure over or within any easement.
- 1.3.3 Separate Council approval under the Roads Act 1993 is required for any crane used to construct this development that swings over public air space.

1.4 Services

- 1.4.1 The applicant is advised to consult with:

- (a) Sydney Water Corporation Limited
- (b) A recognised energy provider
- (c) Natural Gas Company
- (d) The relevant local telecommunications carrier

regarding any requirements for the provision of services to the development and the location of existing services that may be affected by proposed works, either on the land or on the adjacent public road(s).

All approved building construction plans attached to the Construction Certificate should be submitted to Sydney Water Tap In, to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements and if further requirements need to be met. The plans are to be appropriately stamped and all amended plans will require re-stamping. For further information go to: www.sydneywater.com.au, then follow the "Developing Your Land" link or telephone 1300 082 746 for assistance.

Sydney Water may also require the applicant to obtain a Trade Waste Approval as part of the operation of the approved development. Enquiries should be made to ascertain the Sydney Water requirements for the eventual operation of the approved use.

- 1.4.2 Information regarding the location of underground services may be obtained from the Sydney "Dial Before You Dig" service, telephone number 1100, fax number (02) 9806 0777. Inquirers should provide the street/road name and number, side of street/road name and the nearest cross street/road name.
- 1.4.3 Underground assets may exist in the area that is subject to your application. In the interests of health, safety, and in order to protect damage to third party assets, please contact Dial Before You Dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (this is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial Before You Dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset holders a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial Before You Dig service in advance of any construction or planning activities.

- 1.4.4 Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any person interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 (Cth) and is liable for prosecution. Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra's assets in any way, you are required to contact: Telstra's Network Integrity Team on phone number: 1800 810 443.

1.5 **Tree Planting and Service Locations**

- 1.5.1 Street tree and tree planting must not impact on public utilities. The applicant should liaise with the relevant service authorities on the location and use of services within the public road reserve. These authorities may be able to lay their services on the opposite side of the road, thereby providing larger areas for tree planting.

Tree planting must not interfere with street light spill. The applicant is to provide documentation to confirm there is no conflict between proposed vegetation at maturity and street lighting. This confirmation must be received before a Construction Certificate can be issued.

1.6 **Identification Survey**

- 1.6.1 The applicant is advised to obtain an identification survey from a registered surveyor to ascertain the correct location of the property boundaries, and to ensure the development does not encroach upon adjoining properties.

1.7 **Engineering Notes**

- 1.7.1 Any Construction Certificate covering Engineering Works must include and address the following:

- Design of specified Engineering Works as required by this consent.
- Any ancillary works necessary to make the construction effective

If both Building and Engineering works are required, separate construction certificates can be issued for the following works:

- Construction Certificate for Building Works
- Construction Certificate for Engineering Works (As nominated in the 'Prior to Construction Certificate (Engineering)' section of the consent)

Works which require approval under the *Roads Act 1993* or *Local Government Act 1993* CAN NOT be privately certified. Examples of these works are, but not limited to:

- Works in public areas (i.e. Road Reserve, Public Reserves)
- Inter-allotment drainage (i.e. drainage outside the boundary of the land being developed)

Engineering works (as nominated in the 'Prior to Construction Certificate (Engineering)' section of the consent) can be included within a Construction Certificate for Building works, provided that:

- All Engineering Works are specifically mentioned on the Construction Certificate

- The Certifier holds relevant qualifications to issue a Construction Certificate for the Engineering works. Appropriate accreditation qualifications must be shown on Construction Certificate.

1.7.2 All works requiring approval under the *Roads Act 1993* or *Local Government Act 1993* must be approved PRIOR to the issue of any Construction Certificate.

1.8 Payment of Engineering Fees

1.8.1 If the applicant wishes for Council to issue the Construction Certificate for Engineering Works (As nominated in the 'Prior to Construction Certificate (Engineering)') the applicant must:

- Complete application form
- Submit all relevant plans produced by a suitably qualified person and in accordance with Councils Standards.

A quote will be provided verbally generally within # followed by confirmation in writing.

1.8.2 If the applicant wishes for Council to undertake Construction inspections and issue a Compliance Certificate for engineering works, the applicant must:

- Complete application form
- Submit all relevant plans produced by a suitably qualified person
- If plans are privately certified, applicant must supply Construction Certificate covering the required works.

2 GENERAL

2.1 Scope of Consent

2.1.1 The development shall be in accordance with the following drawings/details submitted to Council with the Development Application except where amended by other conditions of this consent:

Drawing Reference:	Dated:
Plans prepared by WMK Architecture:	
DA001 BASIX Commitments, Revision A	15.12.2017
DA002 Development Summary, Revision E	16.05.2018
DA003 Development Summary, Revision C	16.05.2018
DA004 Site Plan Ground, Revision D	17.05.2018
DA005 Site Plan Level 5, Revision D	17.05.2018
DA006 44 Apartment Schedule, Revision B	15.12.2017
DA007 56 Apartment Schedule, Revision B	15.12.2017
DA008 Parking Schedule, Revision B	15.12.2018
DA010 Site Context, Revision A	02.03.2017
DA015 Site Diagrams, Revision A	02.03.2017

Drawing Reference:	Dated:
DA021 Tree Removal Plan, Revision A	02.03.2017
DA022 Communal Open Space, Revision D	17.05.2018
DA023 Deep Soil Zones, Revision D	17.05.2018
DA024 Landscape Plan, Revision D	17.05.2018
DA025 Site Coverage, Revision C	17.05.2018
Floor Plans	
44DA102 Floor Plan Buildings A & B Ground Floor, Revision D	21.12.2017
44DA103 Floor Plan Buildings A & B Levels 2-3, Revision C	15.12.2017
44DA105 Floor Plan Buildings A & B Level 4 Revision C	15.12.2017
44DA106 Floor Plan Buildings A & B Levels 5-8, Revision C	15.12.2017
44DA110 Roof Plan Buildings A & B, Revision C	15.12.2017
44DA201 Basement 1, Revision B	15.12.2017
44DA202 Floor Plan Building C – Level 1 (Ground), Building D - Level 2, Building E – Level 1 (Ground), Revision D	21.12.2017
44DA203 Floor Plan Building C – Level 2, Building D – Level 3, Building E – Level 2, Revision C	15.12.2017
44DA204 Floor Plan Building C - Level 3, Building D – Level 4, Building E – Roof Plan, Revision C	15.12.2017
44DA205 Floor Plan Building C – Levels 4-8 (Typ.), Building D – Levels 5-9 (Typ.) Levels 4-9, Revision C	15.12.2017
44DA210 Floor Plan Building C – Roof, Building D - Level 10, Revision C	15.12.2017
44DA211 Floor Plan Building C – Roof, Building D - Roof, Revision C	15.12.2017
56DA102 Floor Plan Level 1 (Building B East), B2, Revision E	21.12.2017
56DA103 Floor Plan Level 1 Building A, BW & Level 2 Building BE, B2, Revision E	21.12.2017
56DA104 Floor Plan Level 2 Building A, BW, B2 & Level 3 Building BE, Revision D	15.12.2017
56DA105 Floor Plan Level 3 Buildings A, BW, B2 & Level 4 Building E, Revision D	15.12.2017
56DA106 Floor Plan Level 4 Building A, BW & Level 5 Building BE, Revision D	15.12.2017
56DA107 Floor Plan Level 5 Building A, BW & Level 6 Building BE, Revision D	15.12.2017
56DA108 Floor Plan Level 6 Building A, BW & Level 7 BE, Revision D	15.12.2017
56DA109 Floor Plan Level 7 Building A, BW & Level 8 Building BE, Revision D	15.12.2017
56DA110 Floor Plan Level 8 Building A, BW & Level 9 Building BE, Revision D	15.12.2017

Drawing Reference:	Dated:
56DA111 A & B Roof Plan, Revision D	15.12.2017
56DA201 Building E Basement 1, Revision E	21.12.2017
56DA202 Floor Plan Level 1 Building C, D & Level 2 Building E, Revision E	21.12.2017
56DA203 Floor Plan Level 2 Building C, D & Level 3 Building E, Revision D	15.12.2017
56DA204 Floor Plan Level 3 Buildings C, D & Level 4 Building E, Revision D	15.12.2017
56DA205 Floor Plan Level 4 Building C, D & Level 5 Building E, Revision D	15.12.2017
56DA206 Floor Plan Level 5 Building C, D & Level 6 Building E, Revision D	15.12.2017
56DA207 Floor Plan Level 6 Building C, D & Level 7 Building E, Revision D	15.12.2017
56DA208 Floor Plan Level 7 Building C, D & Level 8 Building E, Revision D	15.12.2017
56DA209 Floor Plan Level 8 Building C, D & Level 9 Building E, Revision D	15.12.2017
56DA210 Floor Plan Level 9 Building E, Revision D	15.12.2017
56DA211 C, D & E Roof Plan, Revision D	15.12.2017
DA101 Basement Mezzanine, Revision F	17.05.2018
DA102 Basement 1, Revision E	17.05.2018
DA103 Basement 2, Revision E	17.05.2018
Apartment Layouts	
44DA300 Typical Apartment Plans Sheet 1, Revision B	21.12.2017
44DA301 Typical Apartment Plans Sheet 2, Revision A	03.03.2017
44DA310 Adaptable Unit Layouts, Revision B	15.12.2017
56DA300 Typical Apartment Plans Sheet 1, Revision A	15.12.2017
56DA301 Typical Apartment Plans Sheet 2, Revision A	15.12.2017
56DA302 Typical Apartment Plans Sheet 3, Revision A	15.12.2017
56DA310 Adaptable Unit Plans, Revision A	15.12.2017
Elevations	
44DA500 Elevations – Building A, Revision B	15.12.2017
44DA501 Elevations – Building B, Revision B	15.12.2017
44DA502 Elevations – Building C, Revision B	15.12.2017
44DA503 Elevations – Building D, Revision B	15.12.2017

Drawing Reference:	Dated:
44DA504 Elevations – Building E, Revision B	15.12.2017
44DA510 Elevations – Materials Selection, Revision B	15.12.2017
56DA503 Elevations – Building A & B, Revision B	15.12.2017
56DA504 Elevations – Building A & B, Revision B	15.12.2017
56DA505 Elevations – Building B2, Revision B	15.12.2017
56DA506 Elevations – Buildings C, D & E, Revision B	15.12.2017
56DA507 Elevations – Buildings C, D & E, Revision B	15.12.2017
56DA510 Materials Selection, Revision A	02.03.2017
Sections	
44DA600 Buildings A & B – Section A-A, Revision B	15.12.2017
44DA601 Buildings A & B – Section B-B, C-C, Revision B	15.12.2017
44DA602 Buildings C & E – Section D-D, E-E, Revision B	15.12.2017
44DA603 Building D – Section F-F, Revision B	15.12.2017
44DA604 Buildings C & D – Section G-G, Revision B	15.12.2017
44DA605 Buildings D & E – Section H-H, Revision B	15.12.2017
56DA600 Sections Sheet 1, Revision B	15.12.2017
56DA601 Sections Sheet 2, Revision B	15.12.2017
56DA602 Sections Sheet 3, Revision B	15.12.2017
56DA603 Sections Sheet 4, Revision B	15.12.2017
Miscellaneous	
DA750 Set Back Diagrams – 44 Cudgegong Rd, Revision B	15.12.2017
DA751 Set Back Diagrams – 56 Cudgegong Rd, Revision B	15.12.2017
Shadow diagrams	
DA730 Shadow Diagrams, Revision C	15.12.2017
DA731 Shadow Diagrams, Revision C	15.12.2017
DA732 Shadow Diagrams - May, Revision B	15.12.2017
DA733 Shadow Diagrams - July, Revision B	15.12.2017
DA734 Shadow Diagrams - August, Revision B	15.12.2017
DA735 Shadow Diagrams – September, Revision B	15.12.2017
DA740 Shadow Diagrams – 38 Cudgegong Elevations – June 21st, Revision B	15.12.2017

Drawing Reference:	Dated:
Development analysis	
44DA800 GFA – Building A, Revisions B	16.05.2018
44DA801 GFA – Building B, Revisions B	16.05.2018
44DA802 GFA – Building C, Revisions B	16.05.2018
44DA803 GFA – Building D, Revisions B	16.05.2018
44DA804 GFA – Building E, Revisions B	16.05.2018
56DA805 GFA – Building A, Revisions A	15.12.2017
56DA806 GFA – Building B, Revisions B	16.05.2018
56DA807 GFA – Building C, Revisions A	15.12.2017
56DA808 GFA – Building D, Revisions A	15.12.2017
56DA809 GFA – Building E, Revisions A	15.12.2017
Miscellaneous	
DA941 Solar Analysis Level B1, Revision B	15.12.2017
DA942 Solar Analysis Level 1, Revision B	15.12.2017
DA943 Solar Analysis Level 2, Revision B	15.12.2017
DA944 Solar Analysis Level 3, Revision B	15.12.2017
DA945 Solar Analysis Level 4, Revision B	15.12.2017
DA946 Solar Analysis Level 5, Revision B	15.12.2017
DA947 Solar Analysis Level 6, Revision B	15.12.2017
DA948 Solar Analysis Level 7, Revision B	15.12.2017
DA949 Solar Analysis Level 8, Revision B	15.12.2017
DA950 Solar Analysis Level 9, Revision B	15.12.2017
DA961 Cross-ventilation Analysis – 44 Building D - Level 1 & 56 Building A, BE, E - Level 1, Revision B	15.12.2017
DA962 Cross-ventilation Analysis – Level 1, 44 Building D_L2 & 56 Building BE, E_L2, Revision B	17.12.2017
DA963 Cross-ventilation Analysis – Level 2, 44 Building D_L3 & 56 Building E_L3, Revision B	17.12.2017
DA964 Cross-ventilation Analysis – Level 3, 44 Building D_L4 & 56 Building E_L4, Revision B	17.12.2017
DA965 Cross-ventilation Analysis – Level 4, 44 Building D_L5 & 56 Building E_L5, Revision B	17.12.2017
DA966 Cross-ventilation Analysis – Level 5, 44 Building D_L6 & 56 Building E_L6, Revision B	17.12.2017
DA967 Cross-ventilation Analysis – Level 6, 44 Building D_L7 &	17.12.2017

Drawing Reference:	Dated:
56 Building E_17, Revision B	
DA968 Cross-ventilation Analysis, Revision B	17.12.2017
DA969 Cross-ventilation Analysis – Level 8, 44 Building D_L9 & 56 Building E_L9, Revision B	17.12.2017
DA970 Cross-ventilation Analysis _ Level 10, Revision B	17.12.2017
Perspectives	
DA910 Axonometric – Height Blanket, Revision B	15.12.2017
DA900 Perspective 1 – 44 Cudgegong Road, Revision A	08.05.2017
DA901 Perspective 2 – 44 Cudgegong Road, Revision A	08.05.2017
DA902 Perspective 1 – 56 Cudgegong Road, Revision A	08.05.2017
DA903 Perspective 2 – 56 Cudgegong Road, Revision A	08.05.2017
Landscape Drawings prepared by Arcadia Landscape Architecture:	
Vision, Issue F	December 2017
Context, Issue F	December 2017
Site Assessment, Issue F	December 2017
Principles, Issue F	December 2017
Design Considerations, Issue F	December 2017
Concept Entropy, Issue F	December 2017
Morphology Narrative, Issue F	December 2017
Design Response, Issue F	December 2017
Masterplan, Issue F	December 2017
Detail Plan – Top Block, Issue F	December 2017
Detail Plan – Link, Issue F	December 2017
Detail Plan – Public Park, Issue F	December 2017
Detail Plan – Lineal Community Park, Issue F	December 2017
Detail Plan – Streetscape, Issue F	December 2017
Indicative Planning Strategy, Issue F	December 2017
Indicative Planning Palette Appendix, Issue F	December 2017
Landscape Masterplan, Issue F	December 2017
Hardworks, Issue F	December 2017
Plant Schedule, Issue F	December 2017

Drawing Reference:	Dated:
Softworks Plan, Issue F	December 2017
Masterplan – Street Trees, Issue B	April 2018

* Subject to any conditions of this consent.

2.2 Voluntary Planning Agreement

- 2.2.1 The Voluntary Planning Agreement for height of buildings, subject to the letter of offer from the Applicant to enter into a Voluntary Planning Agreement dated 20 February 2018, must be complied with.

2.3 Access for Surrounding Properties

- 2.3.1 The applicant / person acting on this consent is to ensure that the access road from Cudgegong Road and through this site as approved in Development Application DA-17-02741 provides access to benefit the owner and/or developer of 38 Cudgegong Road, Rouse Hill at all times.

2.4 Services

- 2.4.1 Low voltage electricity and telecommunications services for the approved development shall be as per the requirements of the service provider, and reticulated underground.

2.5 Suburb Name

- 2.5.1 The land the subject of this consent is known to be located in the following suburb. This suburb name shall be used for all correspondence and property transactions:

Suburb: Rouse Hill

2.6 Compliance with BASIX Certificate

- 2.6.1 All commitments listed in BASIX Certificates 731027M_04, 731133M_03 and 731495M_04 shall be complied with.

2.7 Engineering Matters

2.7.1 Design and Works Specification

- 2.7.1.1 All engineering works required by this consent must be designed and undertaken in accordance with the relevant aspects of the following documents except as otherwise authorised by this consent:

(a) Blacktown City Council's Works Specification - Civil (Current Version)

(b) Blacktown City Council's Engineering Guide for Development (Current Version)

(c) Blacktown City Council Development Control Plan (Current Version) including Part J – Water Sensitive Urban Design and Integrated Water Cycle Management

(d) Blacktown City Council Growth Centre Precincts Development Control Plan

(e) Blacktown City Council Soil Erosion and Sediment Control Policy (Current Version)

(f) Blacktown City Council On Site Detention General Guidelines and Checklist

(g) Upper Parramatta River Catchment Trust On Site Stormwater Detention Handbook Fourth Edition December 1999.

Design plans, calculations and other supporting documentations prepared in accordance with the above requirements **MUST** be submitted to Council with any application for Construction Certificate, *Road Act 1993* or *Local Government Act 1993* approval.

Any Construction Certificates issued by Private Certifiers must also be accompanied by the above documents.

NOTE: Any variations from these design requirements must be separately approved by Council.

2.7.2 Other Necessary Approvals

2.7.2.1 A separate application will be required for the following approvals, under the *Local Government Act 1993* and/or the *Roads Act 1993*.

- Vehicular Crossing
- Works on or occupation of existing public roads (Not including works covered by a Roads Act Approval)

2.8 Other Matters

2.8.1 No construction preparatory work (including tree or vegetation removal, ground clearing, excavation, filling, and the like) shall be undertaken on the land prior to a valid Construction Certificate being issued for the construction works.

2.9 Recreation Planning and Design Matters

2.9.1 The applicant / person acting on this consent is to ensure that the eastern part of the site zoned RE1 Public Recreation (future Reserve 946) is secured/fenced to avoid any dumping of rubbish until such time as this reserve is embellished.

2.9.2 All technical studies generated by this development and related to the eastern part of the site zoned RE1 Public Recreation (future Reserve 946), including site contamination reports, are to be submitted to Council's Manager, Recreation Planning and Design.

2.10 Endeavour Energy – Requirements

2.10.1 The requirements of Endeavour Energy provided in their correspondence dated 20 July 2017 is to be adhered to including network capacity / connection, network access, earthing, noise, electric and magnetic fields, vegetation management, obtaining Dial Before you Dig advice, demolition, asbestos and public safety,

2.11 Roads and Maritime Services – Requirements

2.11.1 All works/regulatory signposting associated with the proposed development are to be at no cost to Roads and Maritime Services.

2.12 NSW Department of Industry – Water – Requirements

2.12.1 An authorisation shall be obtained for the take of groundwater as part of the activity. Groundwater shall not be pumped or extracted for any purpose other than temporary construction dewatering at the site identified in the development application. The

authorisation shall be subject to a currency period of 12 months from the date of issue and will be limited to the volume of groundwater take identified.

- 2.12.2 The design and construction of the building must prevent any take of groundwater after the authorisation has lapsed by making any below-ground levels that may be impacted by any water table fully watertight for the anticipated life of the building. Waterproofing of below-ground levels must be sufficiently extensive to incorporate adequate provision for unforeseen high water table elevations to prevent potential future inundation.
- 2.12.3 Sufficient permanent drainage shall be provided beneath and around the outside of the watertight structure to ensure that natural groundwater flow is not impeded and:
 - (a) any groundwater mounding at the edge of the structure shall be at a level not greater than 10 % above the level to which the water table might naturally rise in the location immediately prior to the construction of the structure; and
 - (b) any elevated water table is more than 1.0 m below the natural ground surface existent at the location immediately prior to the construction of the structure; and
 - (c) where the habitable part of the structure (not being footings or foundations) is founded in bedrock or impermeable natural soil then the requirement to maintain groundwater flows beneath the structure is not applicable.
- 2.12.4 Construction methods and material used in and for construction shall be designed to account for the likely range of salinity and pollutants which may be dissolved in groundwater, and shall not themselves cause pollution of the groundwater.
- 2.12.5 Documentation (referred to as a 'report') comprising measurements, maps, bore logs, calculations, results, discussion and justification for various matters related to the dewatering process must be provided. Information will be required at several stages: prior to construction commencing (initial report - which will accompany the application for the authorisation), at any time when an authorisation renewal is required or a significant change in activities occurs (intermediate report); and at the completion of dewatering and related operations (completion report). Reports need to be submitted in a format consistent with electronic retrieval without editing restrictions; raw data should be presented in Excel spreadsheets without editing restrictions.

3 PRIOR TO CONSTRUCTION CERTIFICATE (GENERAL)

3.1 DA Plan Consistency

- 3.1.1 A Construction Certificate for the proposed development shall only be issued when the accompanying plans, specifications and/or details are consistent with the approved Development Application design plans.

A Construction Certificate shall not be issued until such time a Subdivision Certificate has been issued for parent subdivision approved under DA-17-01473 including but not limited to the road and drainage works.

3.2 Relationship with other Approvals

- 3.2.1 Compliance with the requirements of the following nominated approvals:
 - a) Development Consent No. DA-17-02473 dated 10 May 2018 issued by Blacktown City Council.
 - b) Relevant requirement of any other development consent, Construction Certificate issued under the *Environmental Planning and Assessment Act, 1979*, *The Local Government Act, 1993* or *The Roads Act 1993*.

The road construction and public dedication as required by the abovementioned approvals shall be completed prior to any construction certificate being issued.

3.3 Voluntary Planning Agreement

- 3.3.1 The Construction Certificate documentation must demonstrate that the maximum permitted reduced level (RL) for each building as detailed in the voluntary planning agreement are satisfied.

3.4 Blacktown Growth Centres Development Control Plan 2018

- 3.4.1 Except as otherwise approved, the design plans which accompany the Construction Certificate shall comply with the design criteria specified in Council's Growth Centres Development Control Plan 2018.

3.5 Construction Traffic Management Plan

- 3.5.1 A Construction Traffic Management Plan detailing construction vehicle routes, parking, number of trucks, hours of access, access arrangements, road safety and traffic control is to be submitted to Council prior to the issue of any Construction Certificate.

3.6 Construction Environmental Management Plan

- 3.6.1 A Construction Environmental Management Plan is to be submitted to Council prior to the issue of any Construction Certificate as required by clause 3.3 *Construction Environmental Management* of the Growth Centres Precincts DCP 2018.

3.7 Street Trees and Removal of Trees

- 3.7.1 An amended Street Tree Planting Plan is to be submitted to and approved by Council's Project Officer for Civil and Open Space Infrastructure and includes the following details:
- i. The street trees for nature strip plantings are to have an approximate spacing of 8 metres.
 - ii. The location of the street trees is not to obstruct street lighting and vehicle sight lines.
 - iii. The nominated street tree species for each street is:
 - Northern Road – *Waterhousia floribunda*
 - Western Road – *Cupaniopsis anacardioides*
 - Southern Road – *Fraxinus pennsylvanica* 'Urbanite'
 - Eastern Road – *Waterhousia Floribunda*
 - Cudgegong Road – *Flindersia australis*
- 3.7.2 All trees within Lots 1, 2, 5 and 6 and the area associated with the new public roads as approved in DA-17-02743 are permitted to be removed.
- 3.7.3 Trees within Lots 7 and 8 are required to be retained and protected as required by these reports:
- Arboricultural Impact Assessment for 44 Cudgegong Road prepared by Redgum Horticultural, dated 2 June 2016.
 - Arboricultural Impact Assessment for 56 Cudgegong Road prepared by Redgum Horticultural, dated 14 November 2016.

This includes 3 existing trees located at the north-eastern corner of the site in the vicinity of the proposed new local road which are also proposed to be retained, as demonstrated on the Trees to be Retained / Removed Plan (Drawing Number SKC12). Should the

detailed design of the road and stormwater works in the vicinity of these 3 trees result in these trees not being capable of being retained, they are permitted to be removed subject to 3 additional replacement trees being planted in this general location.

3.8 Ecological Matters

3.8.1 The recommendations of the following ecological reports shall be implemented:

- i. Ecological Assessment prepared for 44 Cudgegong Road by Molino Stewart, dated June 2016 and held at Enclosure 2M on Council's file DA-17-02743.
- ii. Ecological Assessment prepared for 56 Cudgegong Road by Molino Stewart, dated March 2017 and held at Enclosure 2N on Council's file DA-17-02743.

3.9 Aboriginal Heritage Matters

3.9.1 The recommendations of the Aboriginal Heritage Due Diligence report prepared by Extent Heritage Advisors and dated June 2018 shall be implemented.

In this regard, an Aboriginal Cultural Heritage Assessment Report (ACHAR) is required to be prepared in accordance with the Office of Environment and Heritage's guidelines for the eastern portion of the study area identified as requiring further assessment in Figure 6 of this report, including Lots 5, 6, 7 and 8 and the new roads to the north, south and east of Lots 5 and 6 as approved in DA-17-02743 and shown in Figure 2 of this report. This may include the requirement for an Aboriginal Heritage Impact Permit (AHIP) under the *National Parks and Wildlife Act 1974*.

Copies of the additional aboriginal assessment and AHIP, as required, are to be submitted to Council as required prior to the issue of any construction certificate relating to Lots 5, 6, 7 and 8 and the new roads to the north, south and east of Lots 5 and 6 as approved in DA-17-02743 and shown in Figure 2 of this report. The AHIP is to be accompanied by an extensive search site record for the area covered by the AHIP in spread sheet and map format.

No works are to be undertaken on Lots 5, 6, 7 and 8 and the new roads to the north, south and east of Lots 5 and 6 as approved in DA-17-02743 and shown in Figure 2 of this report unless a construction certificate has been issued for that part of the site and it has been clarified that there will be no Aboriginal heritage impacts or an AHIP has been issued.

Works are permitted to be undertaken on Lots 1 and 2 and the new roads to the west of Lots 5 and 6 as approved in DA-17-02743 with caution. In the event that unexpected Aboriginal objects, sites of places (or potential Aboriginal objects, sites or places) are discovered during construction, all works in the vicinity should cease and the proponent should determine the subsequent course of action in consultation with a heritage professional and/or the Office of Environment and Heritage as appropriate. A process of consultation with Aboriginal community representatives is required.

3.10 Waste Matters

3.10.1 The Construction Certificate plans and documentation must demonstrate that:

- i. Access for collection vehicles is in accordance with the approved architectural plans and CAD files submitted with this application.
- ii. Vehicles with a height clearance of 4.5 m can access the site and loading bay area for waste, recycling and bulky waste collection purposes.
- iii. The waste collection vehicles are capable of entering and exiting the property in a forward direction.

- iv. The roads and internal driveways and ramps used for waste collection purposes are to be rated for at least 24 tonne trucks.

3.11 Access and Traffic Management Services Matters

- 3.11.1 The pedestrian crossing (zebra crossing) shown along northern road is not permitted to be installed unless a pedestrian crossing warrants is issued by NSW Roads and Maritime Services. These warrants have minimum requirements for pedestrian and vehicle numbers at any pedestrian crossing location.
- 3.11.2 Adequate sight distance is to be provided for pedestrian and vehicular movements for all basement driveways to ensure safety of pedestrians on the footpath system and motor vehicles along the new driveways.

3.12 NSW Local Police – Requirements

- 3.12.1 Mailbox facilities shall be preferably installed within the secure lobby or built along the façade wall/front window of the lobby (i.e. similar to PO boxes where the mailbox is orientated outwards and is opened from inside the lobby) under CCTV surveillance. Where mailboxes are located inside the building lobby, mailboxes will need to be situated near the lobby entry and applicants will be required to install a key safe from Australia Post to facilitate access.
- 3.12.2 A lighting plan is to be submitted to Council which shows the location of lighting around all entry/exit points to the building, along all footpaths within the site, car parking areas and to the street number to facilitate identification of the site/building.
- 3.12.3 A security plan is to be submitted to Council which shows the location and number of CCTV cameras which shall be installed around the site. Cameras shall be provided within all car park facilities, stairways, lifts, lobbies, entry/exit points, loading bays, the waste room and mailbox facilities.
- 3.12.4 The vehicular entries to the basement parking levels shall be secure and well lit areas with CCTV coverage.
- 3.12.5 Security steel welded mesh fencing from floor to ceiling must be installed separating visitor parking from resident parking at the basement levels.
- 3.12.6 A security plan is to be provided prior to the release of any Construction Certificate for building works. This plan should show the location, type and number of CCTV systems per block. The areas to be included are the building lobbies, mailbox facilities, building entry and exit points, basement car park including bike storage areas, lift common areas and waste rooms.

3.13 Other Matters

- 3.13.1 The Construction Certificate plans are to show any existing/proposed substations, kiosks, sewer man holes and/or vents affecting any lot / units, including corner lots / units in accordance with the Growth Centres Precincts Plan DCP 2018.
- 3.13.2 The Construction Certificate plans are to show that the construction and layout of the footpath system provides for continuous disabled and pram access movement in terms of crossing points, including to nearby public transport services.
- 3.13.3 All mail boxes are to accord with the requirements of Australia Post with regard to location, access and size. The letterbox system is to be vandal resistant and secure.

- 3.13.4 Separate Council approval under the Roads Act 1993 is required for any crane used to construct this development that swings over public air space.

4 PRIOR TO CONSTRUCTION CERTIFICATE (PLANNING)

4.1 Section 7.11 Contributions

- 4.1.1 The following monetary contributions under Section 7.11 (formerly Section 94) of the *Environmental Planning & Assessment Act 1979* must be paid.

Under the Section 7.17 Direction issued by the Minister for Planning on 17 July 2017, Council must not impose a condition of development consent under Sections 7.11 (1) or 7.11 (3) or the Act requiring the payment of a monetary contribution exceeding \$35,000 for each dwelling authorised by the development consent, or in the case of a development consent that authorises the subdivision of land into residential lots, exceeding \$35,000 for each residential lot authorised to be created by the development consent. The Section 7.11 contributions payable below have been assessed in accordance with this Direction:

No. of intended dwellings: 711

Contribution: \$24,885,000.00

Payment of the Section 7.11 Contribution amounts must be made prior to the issue of a Construction Certificate for above ground building works for each relevant stage.

PLEASE NOTE: Payments must be made by BANK CHEQUE IF IMMEDIATE CLEARANCE IS REQUIRED. Payments of the full amount by credit card or EFTPOS are accepted. However, payments by credit card or EFTPOS over \$10,000.00 are levied a 3% surcharge on the whole amount and cannot be split between different credit or EFTPOS cards.

Notes: In complying with the Minister's Section 7.17 Direction, the applicant is advised that Council may not be in a position to provide all of the facilities listed in the applicable contributions plan due to the potential shortfall of contributions to be received as a result of the \$35,000 per dwelling/lot limit.

The amounts below are the BASE contributions which, if not for the Ministerial Direction, would have applied to this consent. These amounts have been supplied for your information.

Contribution Item	Base Amount	Relevant C.P.
Stormwater Quantity Second Ponds Creek Land	\$ 896,092.00	22L
Stormwater Quantity Second Ponds Creek Works	\$ 131,319.00	22W
Stormwater Quality Second Ponds Creek	\$ 187,101.00	22W
Traffic Management Rouse Hill Land	\$ 673,555.00	22L
Traffic Management Rouse Hill Works	\$ 3,984,119.00	22W
Open Space Rouse Hill Land	\$ 16,526,813.00	22L
Open Space Rouse Hill Works	\$ 8,401,238.00	22W

Community Facilities Rouse Hill Land	\$ 863,399.00	22L
Combined Precinct Facilities Community Facilities Land	\$ 115,727.00	22L
Combined Precinct Facilities E2 Conservation Zone Land	\$ 292,568.00	22L
Combined Precinct Facilities E2 Conservation Zone Works	\$ 104,024.00	22W

These contributions are based upon the following parameters as specified in the Contributions Plan.

Number of intended dwellings/apartments: 711 apartments
Total Developable Area: 2.7544 hectares
Additional Population: 1,300.3 persons

These contributions are permitted to be paid in stages according to the parameters below. Payments must be made prior to the issue of a Construction Certificate (for above ground building works) for each relevant stage. The payment of staged contributions is based upon the following parameters:

Stage/Building	Dwellings/Apartments
44A	80
56A	72
44B	63
44C1 + C2	128
44D	72
44E	16
56 B2	7
56BE	48
56BW	56
56C	57
56D	58
56E	54

Copies of the following relevant Contributions Plan(s) may be inspected/purchased from Council's Customer Information Centre. Alternatively, Contributions Plans may be downloaded from Council's website:

S.94 CP No. 22 Rouse Hill (Works and Land).

The Section 7.11 Contribution(s) have been based on the total developable area, and/or the additional population nominated. Should the final plan of survey indicate any change in the total developable area, number of apartments or potential additional population, the information for this Section 7.11 Contribution(s) will be adjusted accordingly for each relevant stage.

4.2 **Special Infrastructure Contributions**

- 4.2.1 The applicant is to make a special infrastructure contribution in accordance with any determination made by the Minister administering the Environmental Planning and Assessment Act 1979 under Section 7.17 or its equivalent of the Act that is in force on the date of the consent, and must obtain a certificate to that effect from the Department of Planning and Environment before a Construction Certificate is issued in relation to any part of the development to which this consent relates.

More information

Information about the special infrastructure contribution can be found on the Department of Planning and Environment's website:

<http://www.planning.nsw.gov.au/PlanningSystem/DevelopmentContributionsSystem/tabid/75/quage/en-US/Default.aspx>

4.3 **State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development and the Apartment Design Guide**

- 4.3.1 No construction certification must be issued unless all design verifications have been provided in accordance with Clause 143A of the Environmental Planning and Assessment Regulation 2000. A certifying authority must not issue a construction certificate for residential flat development unless the certifying authority has received a design verification from a qualified designer, being a statement in which the qualified designer verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of [State Environmental Planning Policy No 65—Design Quality of Residential Flat Development](#).

4.4 **Aesthetics, Streetscape and External Materials**

- 4.4.1 The reflectivity index of glass used in the external facades of the buildings is not to exceed 20 percent and must not affect road traffic and must not cause discomfort through glare or intense heat to surrounding areas.
- 4.4.2 Any bathroom, w.c. or laundry window in the external walls of the buildings fitted with translucent glazing.
- 4.4.3 The development approved by Council is to be constructed in accordance with the external finishes shown on the approved External Materials Selection plan.
- 4.4.4 The certifier is to be satisfied that the materials for use on the external walls of this development achieve compliance with the relevant fire resistance levels that are applicable to the development. This includes compliance with the Building Code of Australia.
- 4.4.5 External service fixtures and conduits are to be designed so that they form part of the overall appearance of the building, or are to be screened from view.
- 4.4.6 Windows in the residential apartments from the first floor level through to the top floor level are to be fitted with a child safety mechanism to prevent accidental falls out of windows by persons such as children. Details of such safety mechanisms shall be shown on the Construction Certificate plans and provided to the principal certifying authority/principal certifier.

4.5 **Fencing**

- 4.5.1 All fencing details and materials are to be as per the approved plans. All fencing is to be

provided at full cost to the developer and is to be constructed on top of any masonry retaining walls.

- 4.5.2 With regard to the treatment of any front fences or walls at the ground level which is in the vicinity of the public domain / public footway, appropriate measures are to be in place to deter the potential for graffiti on these front fences or walls, such as landscaping which limits access to these front fences or walls, or a varied finish to these front fences / walls and with an anti-graffiti finish. These details are to be shown on the construction certificate plans to the satisfaction of the Certifying Authority.
- 4.5.3 Where possible, foliage should be grown on/over fencing adjacent to public areas to minimise any potential for graffiti. All fencing which is visible from the public domain is not permitted to be continuous, closed board, or the like.

4.6 Common Areas and Landscaping

- 4.6.1 All common areas and landscaping shall be of a high quality and detailed on the landscaping design plans as part of the Construction Certificate. The minimum pot sizes are to be 45 litres for medium sized plants and 100 litres for trees. All landscaping is to be afforded suitable spacings and pot sizes to ensure that the range of the mature spread of the trees, shrubs and ground covers provide effective coverage and avoid the appearance of sparse landscaping.
- 4.6.2 All landscaping, lawn areas, recreation features and furniture, bbq facilities, children's play areas, pathways, ramps and fencing shall be of a high quality and detailed on the landscaping design plans as part of the Construction Certificate.

The basement deep soil areas which relate to the above tree plantings are to be provided to ensure the viability of these trees.

4.7 Access and Parking

- 4.7.1 1,057 basement car parking spaces are required to be provided on site, being 846 resident spaces, 177 visitor car parking spaces, 10 service bays and 24 car wash bays. All car parking spaces are to be designed having minimum internal clear dimensions in accordance with Australian Standard 2890.1 as follows:

Residential Flat Building (excluding width of pillar): 2.4m x 5.4m

Residential Flat Building (adjacent to solid wall): 2.7m x 5.4m

Disabled Car Space: 4.8m x 5.4m (including shared zone)

- 4.7.2 Adequate pedestrian and bicycle access is required to be provided to the adjoining road network.
- 4.7.3 A minimum of 396 bicycle parking spaces and 15 motorbike spaces are to be provided within the basement levels.
- 4.7.4 The layout of the proposed car parking areas associated with the subject development (including, driveways, grades, turn paths, sight distance requirements, aisle widths, aisle lengths, and parking bay dimensions) are to be designed in accordance with Australian Standard 2890.1 – 2004 and AS 2890.2 – 2002 for heavy vehicles.
- 4.7.5 Access to and parking for persons with disabilities shall be designed in accordance with Australian Standard 2890.6 – 2009 and AS1428.1 - 2009.

4.8 Adaptable Housing Units

- 4.8.1 A minimum of 10% of the units within each residential flat building are to be designed in accordance with the Australian Adaptable Housing Code (AS 4299-1995) which includes “pre-adaptation” design details to ensure visitability is achieved.

4.9 Floor to Ceiling Heights

- 4.9.1 All residential habitable rooms are to have a minimum floor to ceiling height of 2.7 metres. Service bulkheads are not to intrude into habitable spaces.

4.10 Utilities, Services, Plant and Equipment

- 4.10.1 The plans are to demonstrate that all building plant, equipment and services including air conditioning systems, basement vents, and substations, etc. are appropriately located and treated so as not to be visually prominent and not to adversely impact on the streetscape presentation, apartments and communal open space areas with regard to visual, acoustic and odour impacts.
- 4.10.2 The garbage and recycling storage areas must have a smooth impervious floor that is graded to a floor waste. A tap and hose must be provided to facilitate regular cleaning of the bins and all waste water must be discharged to the sewer in accordance with the requirements of Sydney Water. Garbage bins must be designed to prevent the escape of any liquid leachate and must be fitted with a lid to prevent the entry of vermin.
- 4.10.3 Written evidence is to be provided to Council from an appropriately qualified acoustic consultant stating that all plant and equipment have been selected to meet the project noise criteria.
- 4.10.4 A “Notification of Arrangement” Certificate from a recognised energy provider, stating that electrical services, including the provision of street lighting, have been made available to the development.

5 PRIOR TO CONSTRUCTION CERTIFICATE (BUILDING)

5.1 Building Code of Australia Compliance

- 5.1.1 All aspects of the building design shall comply with the applicable performance requirements of the Building Code of Australia so as to achieve and maintain acceptable standards of structural sufficiency, safety (including fire safety), health and amenity for the ongoing benefit of the community. Compliance with the performance requirements can only be achieved by:
- (a) Complying with the deemed to satisfy provisions, or
 - (b) Formulating an alternative solution which:
 - (i) complies with the performance requirements, or
 - (ii) is shown to be at least equivalent to the deemed to satisfy provision, or
 - (iii) A combination of (a) and (b).

5.2 Site Works and Drainage

- 5.2.1 Any required retaining wall(s) and/or other effective method to retain excavated or filled ground (not being Exempt Development under the Blacktown Local Environmental Plan), together with any associated groundwater drainage system, shall be designed by an appropriately qualified person. Details of such site works shall accompany the Construction Certificate.
- 5.2.2 Stormwater drainage from the site shall be designed to satisfactorily drain rainfall intensities of 159mm per hour over an average recurrence interval of 20 years. The

design shall:

- (a) be in accordance with Australian Standard 3500.3, and
- (b) provide for drainage discharge to an existing Council drainage system, and
- (c) ensure that the development, either during construction or upon completion, does not impede or divert natural surface water runoff so as to cause a nuisance to adjoining properties.

5.2.3 Soil erosion and sediment control measures shall be designed in accordance with Council's Soil Erosion and Sediment Control Policy. Details shall accompany any Construction Certificate.

5.2.4 Should any proposed excavation associated with the development extend below the level of the base of the footings of a building or any other structure on any adjoining allotment of land (including a public place), separate details prepared by a suitably qualified person shall be prepared indicating how that building or structure is to be:

- (a) Preserved and protected from damage, and
- (b) Underpinned and supported.

Such details shall accompany the Construction Certificate.

5.3 Fire Services

5.3.1 Where any external on-site fire hydrant or hydrant booster assembly is to be located within any building setback from a boundary, the hydrant or booster assembly shall be located or protected in accordance with the requirements of AS 2419.1.

5.3.2 Where any external on-site water storage tank is required by AS 2118.1 or AS 2419.1, details of the location and type of any proposed tank are to be submitted to and approved by Council prior to the issue of the relevant Construction Certificate.

5.4 BASIX Certificate Compliance

5.4.1 The plans and specifications must indicate compliance with the commitments listed in BASIX Certificates 731027M_04, 731133M_03 and 731495M_04.

6 PRIOR TO CONSTRUCTION CERTIFICATE (ENVIRONMENTAL HEALTH)

6.1 Site Contamination and Salinity

6.1.1 The recommendations provided in the following reports, including additional assessment, shall be implemented:

- i. Stage 1 Contamination Assessment for 44 Cudgegong Road prepared by Ground Technologies Pty Ltd, reference GTE460r1, dated 2 June 2016.
- ii. Environmental Site Assessment report for 44 Cudgegong Road prepared by JBS&G, Reference 24170/112256, Revision 0, dated 21 December 2017.
- iii. Salinity Investigation for 44 Cudgegong Road prepared by Ground Technologies Pty Ltd, reference GTE460r1, dated 2 June 2016.
- iv. Pre-Demolition Hazardous Materials Survey for 56 Cudgegong Road, prepared by JBS&B, Reference 54170/111315, Revision A, dated 14 November 2017.
- v. Phase 1 Preliminary Land Contamination and Salinity Assessment for 56 Cudgegong Road prepared by WSP Buildings Australia Pty Ltd, reference 46548 and dated 31 March 2015.
- vi. Environmental Site Assessment for 56 Cudgegong Road prepared by JBS&B, Reference 54170/113056 and dated 21 December 2017.

This includes:

- The implementation of an Asbestos Management Plan (AMP).
- The implementation of an unexpected finds protocol as part of the Construction Environmental Management Plan (CEMP).
- The chromium identified in the Phase 2 Environmental Site Assessment (prepared by JBS&G Australia Pty Ltd and dated December 2017 for 44 Cudgegong Road, Rouse Hill) being removed and appropriately disposed of off-site at a registered waste facility.

6.2 Geotechnical matters

- 6.2.1 The recommendations provided in the Geotechnical Investigation prepared by Ground Technologies Pty Ltd, reference GTE1349, dated 5 December 2017 shall be implemented.

6.3 Acoustic matters

- 6.3.1 The recommendations provided in the Concept Design Acoustic Report prepared by Marshall Day Acoustics dated February 2017 shall be implemented.
- 6.3.2 A qualified acoustic engineer must certify that the buildings have been designed to minimise the noise intrusion from any external noise source and when constructed the building shall satisfy the following criteria with windows and doors closed:

Internal Space	Time Period	Criteria L_{Aeq} (period)
Living Areas	Any time	40 dB(A)
Sleeping Areas	Day (7am – 10pm)	40 dB(A)
	Night (10pm – 7am)	35 dB(A)

A certificate must be provided by a qualified acoustic engineer stating that provision has been made in the design of all sound producing plant, equipment, machinery, mechanical ventilation system or refrigeration systems to ensure that it is acoustically attenuated so that the noise emitted:

- a) does not exceed an L_{Aeq} sound pressure level of 5dB (A) above the ambient background noise level when measured:
 - at the most effected point on or within any residential property boundary or
 - at the external edge of any sole occupancy unit balcony within the premises itself at any time the plant or equipment operates.
- b) cannot be heard within a habitable room in any sole occupancy unit or other residential premises (regardless of whether any door or window to that room is open) between the hours of 10pm and 7am.

The method of measurement of sound must be carried out in accordance with Australian Standard 1055.1.

7 PRIOR TO CONSTRUCTION CERTIFICATE (ENGINEERING)

7.1 General

- 7.1.1 All relevant conditions within the 'Prior to Construction Certificate' section of this consent shall be satisfied before any Construction Certificate can be issued.

7.1.2 All fees for Construction, *Roads Act 1993* and *Local Government Act 1993* approvals must be paid to Council prior to the issue of any of the above certificates or approvals. All fees for Compliance Certificates must be paid to Council prior to any construction certificate works commencing.

7.1.3 Construction certificate plans shall be generally in accordance with the following drawings:

Prepared By	Project N o.	Sheet No.	Revision	Dated
AT&L	16413	DAC2001 to DAC2080	A	19-12-17

Drainage amendment required to the plans:

1. Internal drainage system is to be designed to safely convey 20 year ARI storm flows
2. Due to the cut and/or fill exceeding 1.5 m, a desktop Groundwater Assessment Report is required for the site in accordance with section 4.6 of DCP 2015 Part J. Where there is the potential for interaction with groundwater, a Groundwater Management Plan must be prepared by a Geotechnical Engineer registered with NER
3. Provide additional surface inlet pits and pipes to collect the 20 year flows across the frontages and direct the flows to the internal drainage system and to treatment.
4. Confined space entry warning signs are to be detailed on the drainage plans adjacent to all entries into the Stormfilter Chamber and Stormwater Tank in accordance with Council's Engineering Guide for Development 2005.
5. The minimum storage and dual alternating pump requirements for the basement garage is to satisfy AS/NZS 3500.3:2015 – Plumbing and Drainage Part 3: Stormwater Drainage.

7.2 Construction Certificate Requirements

7.2.1 Under the *Environmental Planning and Assessment Act 1979* a Construction Certificate for engineering work is required. These works include but are not limited to the following:

- Water quality treatment
- Earthworks

The above requirements are further outlined in this section of the consent.

7.3 Roads Act Requirements

7.3.1 Under *Section 138 of the Roads Act 1993* an approval for engineering work is required. These works include but are not limited to the following:

- Any works within Council's road reserve
- Kerb inlet pit connections or construction
- Vehicular crossings

The above requirements are further outlined in this section of the consent.

7.4 Other Engineering Requirements

7.4.1 Submit a detailed estimate of costs for the engineering works. If this detailed estimate is \$25,000 or greater then a long service levy payment is required. Provide proof of this payment to Council.

- 7.4.2 Any ancillary works undertaken shall be at no cost to Council.
- 7.4.3 Submit a Public Utilities Plan demonstrating adequate clearance between services to stormwater pits, pipes, driveways, light poles, etc.

7.5 Drainage

- 7.5.1 An experienced Drainage Engineer registered with NER and supported by a DRAINS or similar electronic hydraulic drainage model is to certify that the internal drainage system is capable of carrying the minimum 20 year ARI flows with no surcharge at any pits permitted as per the Engineering Guide for Development.
- 7.5.2 Provide details for permanent interpretive signage minimum A1 size to be installed to highlight the water quality improvement process. The sign is to incorporate a simplified drainage layout of the site and detail through words and pictures all the different water quality devices and explain the benefit to the site and community. The sign is to be supported by a steel post or on a wall and is to be located adjacent to the major water quality device. The wording and detail is to be approved by Council.
- 7.5.3 Drainage from the site must be connected into Council's existing drainage system.
- 7.5.4 Where the internal driveway cannot be drained to an internal pit a grated trench drain shall be provided at the property boundary.

7.6 Erosion and Sediment Control

- 7.6.1 Provide a sediment and erosion control plan in accordance with Council's Soil Erosion and Sediment Control Policy and Engineering Guide for Development.

7.7 Earthworks

- 7.7.1 Finished levels of all internal works at the road boundary of the property must be 4% above the top of kerb.

7.8 Stormwater Quality Control (Building Works)

- 7.8.1 Provide permanent stormwater quality treatment system in accordance with Council's Engineering Guide for Development and Development Control Plan Part J – Water Sensitive Urban Design and Integrated Water Cycle Management.
- 7.8.2 The engineering drawings approved under this consent are not to be used for construction. The Construction Certificate shall be generally in accordance with the approved DA plans however any significant variation to the water quality treatment design shall require a section 96 application.
- 7.8.3 Provide a maintenance schedule for the stormwater quality device that is signed and dated by the designer.

7.9 Vehicular Crossings

- 7.9.1 Construct a commercial and industrial vehicular crossing to Council's standard A(BS)103S.

8 EXCAVATION

8.1 NSW Department of Industry – Water – Requirements Prior to Excavation

- 8.1.1 The following shall be included in the initial report:
- (a) measurements of groundwater levels beneath the site from a minimum of three relevant monitoring bores, together with details of the bores used in the assessment including bore logs and three-dimensional identification information.
 - (b) a map of the site and its immediate environs depicting the water table (baseline conditions) shown relative to the topography and approved construction footprint from the surface level and below. An assessment of the potential variation in the water table during the life of the proposed building together with a discussion of the methodology and information on which this assessment is based.
 - (c) details of the present and potential groundwater flow paths and hydraulic gradients in and around the site; the latter in response to the final volumetric emplacement of the construction.
 - (d) a schedule for the ongoing water level monitoring and description of the methodology to be used, from the date of consent until at least two months after the cessation of pumping. [Note that groundwater level measurements should be undertaken on a continuous basis using automatic loggers in monitoring bores.]
- 8.1.2 The Applicant shall assess the likely impacts of the dewatering activities on other groundwater users or structures or public infrastructure; this assessment will include an appropriate bore, spring or groundwater seep census and considerations relevant to potential subsidence or excessive settlement induced in nearby buildings and property, and be documented together with all calculations and information to support the basis of these in the initial report.
- 8.1.3 Groundwater quality testing of samples taken from outside the footprint of the proposed construction, with the intent of ensuring that as far as possible the natural and contaminant hydrochemistry of the potential dewatered groundwater is understood, shall be conducted on a suitable number of samples and tested by a NATA-certified laboratory. Details of the sampling locations and the protocol used, together with the test results accompanied by laboratory test certificates shall be included in the initial report. An assessment of results must be done by suitably qualified persons with the intent of identifying the presence of any contaminants and comparison of the data against accepted water quality objectives or criteria for the intended dewatering purpose. In the event of adverse quality findings, the Applicant must develop a plan to mitigate the impacts of the hydrochemistry on the dewatered groundwater and present the details of all assessments and plans in the initial report.
- 8.1.4 Groundwater quality testing generally in accordance with Clause 8, shall be undertaken on any anniversary or other renewal or alteration of any dewatering authorisation.
- 8.1.5 A reasonable estimate of the total volume of groundwater to be extracted shall be calculated and included in the initial report; together with details and calculation methods for the parameters and supporting information to confirm their development or measurement (e.g. permeability determined by slug-testing, pump-testing or other means).
- 8.1.6 A copy of a valid consent for the development shall be provided in the initial report.
- 8.1.7 The method of disposal of pumped water shall be nominated (i.e. reinjection, drainage to the stormwater system or discharge to sewer) and a copy of the written permission from the relevant controlling authority shall be provided in the initial report. The disposal of any contaminated pumped groundwater (sometimes called “tailwater”) must comply with the provisions of the Protection of the Environment Operations Act 1997 and any requirements of the relevant controlling authority.
- 8.1.8 Contaminated groundwater (i.e. above appropriate NEPM 2013 thresholds) shall not be reinjected into any aquifer. The reinjection system design and treatment methods to

remove contaminants shall be nominated and included in the initial report and any subsequent intermediate report as necessary. The quality of any pumped water that is to be reinjected must be demonstrated to be compatible with, or improve, the intrinsic or ambient groundwater in the vicinity of the reinjection site.

8.2 NSW Department of Industry – Water – Requirements During Excavation

- 8.2.1 Engineering measures designed to transfer groundwater around and beneath the basement shall be incorporated into the basement construction to prevent the completed infrastructure from restricting pre-existing groundwater flows.
- 8.2.2 Piping, piling or other structures used in the management of pumped groundwater shall not create a flooding hazard or induce mounding of groundwater. Control of pumped groundwater is to be maintained at all times during dewatering to prevent unregulated off-site discharge.
- 8.2.3 Measurement and monitoring arrangements to the satisfaction of the approval body are to be implemented. Weekly records of the volumes of all groundwater pumped and the quality of any water discharged are to be kept and a completion report provided after dewatering has ceased. Records of groundwater levels are to be kept and a summary showing daily or weekly levels in all monitoring bores provided in the completion report.
- 8.2.4 Pumped groundwater shall not be allowed to discharge off-site (e.g. adjoining roads, stormwater system, sewerage system, etc.) without the controlling authority's approval and/or owner's consent/s. The pH of discharge water shall be managed to be between 6.5 and 8.5. The requirements of any other approval for the discharge of pumped groundwater shall be complied with.
- 8.2.5 Dewatering shall be undertaken in accordance with groundwater-related management plans applicable to the excavation site. The requirements of any management plan (such as acid sulfate soils management plan or remediation action plan) shall not be compromised by the dewatering activity.
- 8.2.6 The location and construction of groundwater extraction works that are decommissioned are to be recorded in the completion report. The method of decommissioning is to be identified in the documentation.
- 8.2.7 Access to groundwater management works used in the activity is to be provided to permit inspection when required by the approval body under appropriate safety procedures.

8.3 NSW Department of Industry – Water – Requirements Following Excavation

- 8.3.1 Following cessation of the dewatering operations, the applicant shall submit the completion report which shall include:
 - (a) detail of the volume of water taken, the precise periods and location of water taken, the details of water level monitoring in all of the relevant bores; and
 - (b) a water table map depicting the aquifer's settled groundwater condition and a comparison to the baseline conditions; and
 - (c) a detailed interpreted hydrogeological report identifying all actual resource and third party impacts, including an assessment of altered groundwater flows and an assessment of any subsidence or excessive settlement induced in nearby buildings and property and infrastructure.
- 8.3.2 The completion report is to be assessed by the approval body prior to any certifying agency's approval for occupation or use of the completed construction.

9 PRIOR TO DEVELOPMENT WORKS

9.1 Safety/Health/Amenity

- 9.1.1 Toilet facilities shall be provided on the land at the rate of 1 toilet for every 20 persons or part thereof employed at the site.

Each toilet provided shall be:

- (a) a standard flushing toilet, or
- (b) a temporary on-site toilet which is regularly maintained and the waste disposed to an approved sewerage management facility.

- 9.1.2 A sign is to be erected and maintained in a prominent position on the site in accordance with Clause 98 A (2) of the Environmental Planning and Assessment Regulations 2000 indicating:

- (a) the name, address and telephone number of the principal certifying authority for the work, and
- (b) the name of the principal contractor (if any) for the building work and a telephone number on which that person may be contacted outside working hours, and
- (c) stating that unauthorised entry to the work site is prohibited.

This condition does not apply to:

- (a) building work carried out inside an existing building, or
- (b) building work carried out on premises that are to be occupied continuously (both during and outside working hours) while the work is being carried out.

- 9.1.3 Should the development work:

- (a) be likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
- (b) involve the enclosure of a public place,

a hoarding or protective barrier shall be erected between the work site and the public place. Such hoarding or barrier shall be designed and erected in accordance with Council's current Local Approvals Policy under the Local Government Act 1993.

Where necessary, an awning shall be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.

The hoarding, awning or protective barrier shall be effectively illuminated between sunset and sunrise where it may be hazardous to any person in the public place.

- 9.1.4 Soil erosion and sediment control measures shall be provided in accordance with Council's Soil Erosion and Sediment Control Policy.

- 9.1.5 All soil erosion and sedimentation control measures indicated in the documentation accompanying the Construction Certificate shall be installed prior to the commencement of development works.

- 9.1.6 A single vehicle/plant access to the land shall be provided to minimise ground disturbance and transport of soil onto any public place. Such access shall be provided in accordance with the requirements of Appendix "F" of Council's Soil Erosion and Sediment Control Policy. Single sized 40mm or larger aggregate placed 150mm deep, and extending from the street kerb/road shoulder to the land shall be provided as a

minimum.

- 9.1.7 Any excavation and/or backfilling associated with the development shall be executed safely and in accordance with appropriate professional standards, with any excavation properly guarded and protected to prevent such work being dangerous to life or property.
- 9.1.8 Should any excavation associated with the development extend below the level of the base of the footings of a building or any other structure on any adjoining allotment of land (including a public place), that building or structure:
- (a) shall be preserved and protected from damage, and
 - (b) if necessary, shall be underpinned and supported in accordance with structural design details accompanying the Construction Certificate, and
 - (c) the owner(s) of which shall, at least 7 days before any such excavation or supporting work commences, be given notice of such intention and particulars of the excavation or supporting work.

9.2 Notification to Council

- 9.2.1 The person having the benefit of this consent shall, at least 2 days prior to work commencing on site, submit to Council a notice under Clauses 135 and 136 of the Environmental Planning and Assessment Regulation 2000, indicating details of the appointed Principal Certifying Authority and the date construction work is proposed to commence.
- 9.2.2 At least five (5) full working days written notice must be given for the commencement of engineering works. Such notice must be accompanied by evidence of the contractors Public Liability and Workers Compensation Insurances. For Public Liability Insurance this should be a minimum amount of \$10,000,000.

9.3 Home Building Act

- 9.3.1 The construction of *residential building work* within the meaning of the *Home Building Act 1989* must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the following information:
- (a) in the case of work for which a principal contractor is required to be appointed:
 - (i) the name and licence number of the principal contractor, and
 - (ii) the NSW Home Building Compensation Fund "Statement of Cover" under Part 6 of that Act,
 - (b) in the case of work to be done by an owner-builder:
 - (i) the name of the owner-builder, and
 - (ii) if the owner-builder is required to hold an owner-builder permit under Part 3 of the Act, the number of the owner-builder permit.

9.4 Sydney Water Authorisation

- 9.4.1 Sydney Water Corporation's approval, in the form of appropriately stamped Construction Certificate plans, shall be obtained and furnished to the Principal Certifying Authority to verify that the development meets the Corporation's requirements concerning the relationship of the development to any water mains, sewers or stormwater channels.
- OR
- The approved plans are to be submitted to a Sydney Water Tap In, to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements and if further requirements need to be met. The plans must be

appropriately stamped and all amended plans will require restamping. For further information please refer to the "Developing Your Land" section of the website: www.sydneywater.com.au, or telephone 1300 082 746 for assistance.

9.5 Adjoining Owners

9.5.1 Written permission from the respective owner(s) must be obtained to:

- (a) discharge stormwater onto adjoining owner's land.
- (b) carry out works on adjoining land.
- (c) drain the site across land owned by others.

A copy of such written permission shall be lodged with Council.

9.6 Septic Tank

9.6.1 In accordance with section 68 of the Local Government Act 1993 an 'Application for Approval to Install, Construct or Alter a Septic Tank or Sewage Management System' shall be submitted to Council for consideration. Approval must be obtained prior to construction work commencing.

9.7 Removal of Dams

9.7.1 Any dam on site shall be de-watered in stages. All native fauna located within and surrounding the dam shall be collected by an appropriately qualified and licensed ecologist. Any captured native fauna shall be relocated to a suitable location managed by the applicant or as nominated by Council. Details shall be submitted to Council, including photographs, surveys and diary entries of species found and details of relocation.

9.8 Protection of Fauna

9.8.1 It is the responsibility of the developer to ensure that the removal of hollow-bearing trees or trees containing nests is conducted with due regard to any fauna present. In the event that fauna is evident an ecologist shall be engaged on-site to undertake appropriate relocation any fauna.

9.9 NSW Local Police – Requirements

9.9.1 The Applicant / person acting on this consent is to conduct a site inspection with the NSW Local Police prior to works commencing.

10 DURING CONSTRUCTION (BUILDING)

10.1 Safety/Health/Amenity

10.1.1 The required toilet facilities shall be maintained on the land at the rate of 1 toilet for every 20 persons or part of 20 persons employed at the site.

10.1.2 A sign is to be erected and maintained in a prominent position on the site in accordance with Clause 98 A (2) of the Environmental Planning and Assessment Regulations 2000 indicating:

- (a) the name, address and telephone number of the principal certifying authority for the work, and
- (b) the name of the principal contractor (if any) for the building work and a telephone number on which that person may be contacted outside working hours, and

(c) stating that unauthorised entry to the work site is prohibited.

10.1.3 Should the development work:

- (a) be likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
- (b) involves the enclosure of a public place,

the required hoarding, awning or protective barrier shall be maintained between the land and the public place.

The hoarding, awning or protective barrier shall be effectively illuminated between sunset and sunrise where it may be hazardous to persons in the public place.

10.1.4 All measures specified in the Construction Certificate to control soil erosion and sedimentation shall be maintained throughout development works.

10.1.5 A single vehicle/plant access to the land shall be maintained to minimise ground disturbance and transport of soil onto any public place. Such access shall be maintained in accordance with the requirements of Appendix "F" of Council's Soil Erosion and Sediment Control Policy. As a minimum, single sized 40mm or larger aggregate placed 150mm deep, and extending from the street kerb/road shoulder to the land shall be provided.

10.1.6 Any excavation and/or backfilling associated with the ongoing development works shall be executed safely and in accordance with appropriate professional standards, with any excavation properly guarded and protected to prevent them from being dangerous to life or property.

10.1.7 Should any excavation associated with the ongoing development works extend below the level of the base of the footings of a building or any other structure on any adjoining allotment of land (including a public place), that building or structure:

- (a) shall be preserved and protected from damage, and
- (b) if necessary, shall be underpinned and supported in accordance with structural design details accompanying the Construction Certificate, and
- (c) the owner(s) of which shall, at least 7 days before any such excavation or supporting works be given notice of such intention and particulars of the excavation or supporting works.

10.1.8 Building and construction materials, plant, equipment and the like shall not to be placed or stored at any time on Council's footpath, roadway or any public place.

10.2 **Building Code of Australia Compliance**

10.2.1 All building work shall be carried out in accordance with the provisions of the Building Code of Australia.

10.3 **Surveys**

10.3.1 The building(s) shall be set out by a registered surveyor and a survey report lodged with the Principal Certifying Authority to verify the approved position of each structure in relation to the property boundaries.

10.3.2 A registered surveyor's report confirming the approved design ground and/or floor levels, shall be lodged with the Principal Certifying Authority prior to work proceeding above floor level.

10.4 Nuisance Control

- 10.4.1 Any objectionable noise, dust, concussion, vibration or other emission from the development works shall not exceed the limit prescribed in the Protection of the Environment Operations Act 1997.
- 10.4.2 The hours of any offensive noise-generating development works shall be limited to between 7.00am to 6.00pm, Mondays to Fridays: 8.00am to 1pm, Saturdays; and no such work to be undertaken at any time on Sundays or public holidays.

10.5 Stormwater Drainage

- 10.5.1 Stormwater, surface water and sub-surface seepage (other than natural flows) shall be prevented from entering the building or being diverted onto any adjoining land (as applicable) by:
- (a) the floor level being a minimum 225mm above the adjoining finished ground level, and/or
 - (b) being drained to an effective drainage system.

10.6 Waste Control

- 10.6.1 The waste material sorting, storage and re-use requirements of the approved Waste Management Plan and Council's Site Waste Management and Minimisation Development Control Plan shall be implemented during the course of development works.

10.7 Construction Inspections

- 10.7.1 The person having the benefit of this consent is required to notify the Principal Contractor for the building construction project that various mandatory and critical stage inspections must be conducted by an accredited certifier, and may include inspections (where applicable):
- (a) After excavation for, and prior to placement of, any footings; and
 - (b) Prior to pouring any in-situ reinforced concrete building element; and
 - (c) Prior to the covering of the framework for any floor, wall roof or other building element, and prior to covering waterproofing in any wet areas; and
 - (d) Prior to covering waterproofing in any wet areas (but for a minimum of 10% of rooms with wet areas in any class 2,3 or 4 building); and
 - (e) Prior to covering any stormwater drainage connections; and
 - (f) After the building work has been completed and prior to any Occupation Certificate being issued in relation to the building.

The critical stage inspection “(f)” must be carried out by the Principal Certifying Authority.

Any inspection conducted by an accredited other than the nominated PCA for the project must be verified by way of a Compliance Certificate issued for the relevant works.

Note: Failure to ensure the relevant inspections are conducted will preclude the issue of an Occupation Certificate.

11 DURING CONSTRUCTION (GENERAL)

11.1 Environmental Health Matters

11.1.1 All areas potentially/contaminated shall be remediated. Upon completion of remediation an appropriately qualified environmental consultant shall prepare a validation report. The validation report shall be carried out in accordance with:

- NSW Environment Protection Authority's *Guidelines for Consultants Reporting on Contaminated Sites* (1997)
- NSW Environment Protection Authority's *Contaminated Sites Sampling Design Guidelines* (1995).
- Australian and New Zealand Environment and Conservation Council and National Health and Medical Research Council's *Australian and New Zealand Guidelines for the Assessment and Management of Contaminated Sites* (1992).

A NSW Environment Protection Authority accredited Site Auditor shall review the validation report and submit to Council a Site Audit Statement. The Site Audit Statement shall verify that the investigation, remediation and validation was carried out in accordance with the aforementioned guidelines and that the site is suitable for the proposed use.

11.1.2 Any asbestos material is to be handled and treated in accordance with the WorkCover document "Your Guide to Working With Asbestos - Safety guidelines and requirements for work involving asbestos" dated March 2008.

11.1.3 A Construction Environment Management Plan should be in place and must include specific advice on how water treatment and dewatering will be undertaken in accordance with the Blue Book, as well as demonstrating the discharged water complies with ANZECC water quality guidelines.

11.1.4 When basins are required to be pumped out, the necessary dosing must occur within 24 hours of the conclusion of each storm event and the basin must be drained within 36 to 48 hours if gypsum is used.

11.1.5 Councils Environmental Health Section must be notified prior to 4pm on the business day prior to any controlled discharge from any temporary drainage basin outside of standard business hours (9am to 5pm, Monday to Friday), or, 1 hour prior to any controlled discharge from any temporary drainage basin during standard business hours.

11.1.6 Any water discharging from the premises is to be sampled at 30 minute intervals from the discharge point for the entire period that water is leaving the site.

11.1.7 If any sample is recorded above the parameters in the plan, the discharge will need to cease immediately and Council's Environmental Health Section must be notified by telephone at the time of detection and followed up in writing.

11.1.8 If no adverse results are identified that require immediate notification the results must still be submitted to Council's Environmental Health Section at the completion of the required controlled discharges.

11.1.9 Should any contaminated material be unearthed or fly-tipped rubbish be encountered during the demolition, excavation and construction works, all works are to cease immediately and a suitably qualified environmental site contamination consultant is to investigate and report on the findings. Any recommended remediation and validation works are to be undertaken pursuant to Council's Contamination Lands Policy. The

environmental consultant engaged for this project is to be on site for regular monitoring of the approved site works.

- 11.1.10 The Construction Environment Management Plan must include specific advice on how water treatment and dewatering will be undertaken in accordance with the Blue Book, as well as demonstrating the discharged water complies with ANZECC water quality guidelines.

11.2 European Heritage

- 11.2.1 If, during the course of construction, the applicant or persons acting on this consent become aware of any previously unidentified heritage object(s), all work likely to affect the object(s) shall cease immediately and the Heritage Council of New South Wales shall be notified immediately in accordance with section 146 of the *Heritage Act 1977*. Relevant works shall not recommence until written authorisation from the Heritage Council is issued.

11.3 Aboriginal Heritage

- 11.3.1 If, during the course of construction, the applicant or persons acting on this consent become aware of any previously unidentified Aboriginal object(s), all work likely to affect the object(s) shall cease immediately and the NSW Office of Environment & Heritage informed in accordance with Section 89A of the *National Parks and Wildlife Act 1974*. Relevant works shall not recommence until written authorisation from the NSW Office of Environment and Heritage is received by the Applicant. In addition, a member of each of the Western Sydney Aboriginal Stakeholder Groups is to be contacted.
- 11.3.2 The recommendations of the Aboriginal Heritage Due Diligence report prepared by Extent Heritage Advisors and dated June 2018 and any associated Aboriginal Cultural Heritage Assessment Report (ACHAR) and Aboriginal Heritage Impact Permit (AHIP) are to be adhered to.

11.4 Tree and Ecological Protection Measures

- 11.4.1 All works are to be undertaken in accordance with the recommendations of the Arboricultural Impact Assessments in **Condition 3.6.3**.
- 11.4.2 All works are to be undertaken in accordance with the recommendations of the Ecological Assessments in **Condition 3.7.1**.

11.5 Construction Traffic Management Plan

- 11.5.1 The Construction Traffic Management Plan submitted to Council is to be adhered to at all times.

11.6 Street Trees – Bonds, Services and Charges

- 11.6.1 The Applicant is to undertake the planting and maintenance of street trees to Council's satisfaction at no cost to Council (making any necessary Applications with Council or obtaining any necessary clearances from relevant Service Authorities), the Applicant is, subject to any alternative arrangements satisfactory to the Council, to lodge a tree bond of \$320.00 per tree and \$132.00 Inspection fee with Council to ensure the health and vigour of the tree/s. The bond shall be returned 12 months after the completion of the development (i.e. issue of final Occupation/Subdivision Certificate) if the trees are in a state of good health and vigour to Council's satisfaction.

The street tree bond amount will be applied following review and approval of the revised

street tree plan. In accordance with Council's Good and Services Pricing Schedule, further assessment of the plans and future site inspection shall be levied by Council's Development Services Unit against the Developer for this purpose at a 2 hour period for a rate of \$188 per hour + GST.

11.7 NSW Local Police – Requirements

- 11.7.1 During construction the site is to be appropriately secured to prevent unauthorised access.
- 11.7.2 During construction security Patrols and CCTV Surveillance Systems are to be installed.

12 DURING CONSTRUCTION (ENGINEERING)

12.1 Insurances

- 12.1.1 Current copies of relevant insurance Certificates of Currency are to be submitted to Council's Engineering Approvals Team. This shall be submitted prior to commencement of engineering works required by this consent that are carried out on Council controlled lands such as roads, drainage reserves and parks. This includes Public Liability Insurance with a minimum of \$20,000,000.00 Indemnity and Workers Compensation.

12.2 Service Authority Approvals

- 12.2.1 Prior to the commencement for construction of footway crossings and driveways a clearance shall be obtained from the relevant telecommunications carriers and a recognised energy provider. The clearance shall notify that all necessary ducts have been provided under the proposed crossing.

12.3 Boundary Levels

- 12.3.1 Any construction at the property boundary, including but not limited to fences, retaining walls and driveways shall not be carried out until boundary alignment levels have been fixed.

12.4 Soil Erosion and Sediment Control Measures

- 12.4.1 Soil erosion and sediment control measures onsite shall be implemented, maintained and monitored in accordance with Council's Soil Erosion and Sediment Control Policy.
- 12.4.2 Re-vegetation and restoration of all disturbed areas as a result of the development works shall be completed as soon as practicable after the completion of earthworks and before the commencement of any other works on-site. The revegetated/restored areas must be established prior to the release of maintenance security/bonds. Note: All open drains must be turfed.
- 12.4.3 All required soil erosion and sedimentation control measures are to be maintained throughout the entire construction period and until all disturbed areas are restored to the satisfaction of Council in accordance with the design and construction specification. Infringement Notices incurring a monetary penalty may be issued by Council where the maintenance of measures is deemed inadequate.

12.5 Filling of Land and Compaction Requirements

- 12.5.1 Special attention is drawn to the below listed requirements of Council's Works Specification - Civil (Current Version).

- a) Submission of compaction certificates for fill within road reserves.
- b) Submission of compaction certificates for road sub-grade.
- c) Submission of compaction certificates for road pavement materials (sub-base and base courses).
- d) The submission of 2 contour lot fill diagrams and lot fill compaction certificates. A restriction as to User with Council's standard wording must be placed on filled lots.
- e) Compliance Certificates from road material suppliers (the relevant certified stockpile number shall be digitally shown from supplier)

Note: Council's Works Specification (Civil) requires road pavement and pipe bedding materials be sourced NATA tested stockpiles. The above documentation shall be submitted at the prior to Subdivision and/or Occupation certificate stage as required by this consent.

- 12.5.2 Site filling within lot boundaries (not in road reserves) and compaction is to be carried out under the supervision of a Chartered Geotechnical Engineer and shall be in accordance with Blacktown City Council's "Works Specification - Civil (Current Version)". Minimum standard compaction of 95% must be achieved and certified by a NATA registered soils lab and details submitted to Council.

12.6 **Inspection of Engineering Works - Environmental Planning and Assessment Act 1979**

- 12.6.1 Comprehensive inspection compliance certificate(s) to be issued for all engineering works required by this consent and the approved construction certificate. The inspection compliance certificate(s) can only be issued by Council or an accredited certifier, under *Part 4A of the Environmental Planning and Assessment Act 1979* as amended. A schedule of mandatory inspections is listed in Council's Works Specification – Civil (current version).

Where Council is appointed as the Principal Certifying Authority for the development, only compliance certificates issued by accredited certifiers will be accepted. All compliance certificate(s) must certify that the relevant work has been completed in accordance with the pertinent Notice of Determination / Development Consent and Construction Certificate.

12.7 **Inspection of Engineering Works - Roads Act 1993**

- 12.7.1 All inspection(s) required by this consent for any engineering works that are approved under the *Roads Act 1993* must be made by Council's Development Overseers.

Inspections must be pre-booked with a minimum twenty-four (24) hours notice. Council's Development Overseers may be contacted on 02 9839 6586 between 7am - 8am and 12.30pm - 1.30pm, Monday to Friday. Note: A site inspection is required prior to commencement of work. A schedule of mandatory inspections is listed in Council's Works Specification – Civil (current version).

12.8 **Public Safety**

- 12.8.1 The applicant is advised that all works undertaken are to be maintained in a safe condition at all times. Council may at any time and without prior notification make safe any such works Council considers to be unsafe and recover all reasonable costs incurred from the applicant.

12.9 **Site Security**

- 12.9.1 Chain wire gates and security fencing must be provided around the site in order to prevent unauthorised access and dumping of rubbish.

13 PRIOR TO OCCUPATION CERTIFICATE

13.1 Compliance with Conditions

- 13.1.1 An Occupation Certificate shall not be issued until such time as all conditions of this consent, other than “Operational” conditions, have been satisfied. The use or occupation of the development prior to compliance with all conditions of consent, other than “Operational” conditions, may render the applicant/developer liable to legal proceedings.
- 13.1.2 Prior to occupation/use of a new building, it is necessary to obtain an Occupation Certificate from the Principal Certifying Authority in accordance with the provisions of Section 109H of the *Environmental Planning & Assessment Act 1979*.

13.2 Fire Safety Certificate

- 13.2.1 A final fire safety certificate complying with Clause 153 of the Environmental Planning and Assessment Regulation 2000 shall be issued prior to the use or change of use of the building, except in the case of any Class 1a and Class 10 building(s).

13.3 Fee Payment

- 13.3.1 Any fee payable to Council as part of a Construction, Compliance or Occupation Certificate or inspection associated with the development (including the registration of privately issued certificates) shall be paid in full.

13.4 Road Damage

- 13.4.1 The cost of repairing any damage caused to Council's assets in the vicinity of the land as a result of the development works shall be met in full by the applicant/developer.

Note: Should the cost of damage repair work not exceed the road maintenance bond Council will automatically call up the bond to recover its costs. Should the repair costs exceed the bond amount a separate invoice will be issued.

13.5 Engineering Matters

13.5.1 Surveys/Certificates/Works As Executed plans

- 13.5.1.1 A Work-as-Executed (WAE) plan signed by a Registered Engineer (NER) or a Registered Surveyor must be submitted to Council when the engineering works are completed. A hardcopy (A1 size) and softcopy (on a CD/USB with file format .PDF) of the WAE plans are to be submitted to Council. All engineering Work-as-Executed plans MUST be prepared on a copy of the original, stamped Construction Certificate plans for engineering works.
- 13.5.1.2 A certificate from a Registered Engineer (NER) must be obtained and submitted to Council verifying that the constructed Stormwater Quality Control system and On site detention system will function effectively in accordance with Blacktown Council's DCP Part J – Water Sensitive Urban Design and Integrated Water Cycle Management.
- 13.5.1.3 Provide maintenance requirements for each of the proposed Stormwater Quality Improvement Devices. Where these devices are located in roadway/parking areas these are to include traffic management requirements. The maintenance schedule is to

contain a requirement that either the filter cartridges are to be replaced no later than two years after the date of installation, or a flow test is to be undertaken on the filter chamber in accordance with Council's MUSIC Modelling and Design Guide, The filters must be replaced after a maximum of 5 years. The designer of the stormwater treatment system must prepare the Maintenance schedule and this schedule must show the designer's name, company, signature and date on it

- 13.5.1.4 The submission to Council of Compliance Certificate(s) and construction inspection reports required by this consent for engineering works. A final inspection report is to be included noting that all works are complete.

When Council has been nominated or defaulted as the nominee for engineering compliance. Final inspections can be arranged through Councils Coordinator of Engineering Approvals contactable on (02) 9839 6263. A final inspection checklist must be completed by the applicant prior to the final inspection.

13.5.2 Easements/Restrictions/Positive Covenants

- 13.5.2.1 Any easement(s) or restriction(s) required by this consent must nominate Blacktown City Council as the authority to release vary or modify the easement(s) or restriction(s). The form of easement or restriction created as a result of this consent must be in accordance with the following:

(a) Blacktown City Council's standard recitals for Terms of Easements and Restrictions (Current Version).

(b) The standard format for easements and restrictions as accepted by the NSW Land Registry Services.

- 13.5.2.2 Restrictions and positive covenants must be endorsed by Council and lodged with NSW Land Registry Services over the on-site detention storage areas and outlet works.

- 13.5.2.3 Restrictions and positive covenants must be endorsed by Council and lodged with NSW Land Registry Services over the Stormwater Quality Control devices/system and outlet works.

- 13.5.2.4 All Section 88B restrictions and covenants created, as part of this consent shall contain a provision that they cannot be extinguished or altered except with the consent of Blacktown City Council.

13.5.3 Inspections

- 13.5.3.1 Any additional Council inspections beyond the scope of any Compliance Certificate package and needed to verify full compliance with the terms of this consent will be charged at the individual inspection rate nominated in Council's Fees and Charges Schedule.

13.6 Services / Utilities

- 13.6.1 A Section 73 Compliance Certificate under the Sydney Water Act 1994 must be obtained. Applications must be made through an authorised Water Servicing Coordinator. Please refer to the "Building Plumbing and Developing" Section of the website www.sydneywater.com.au, then follow the "Developing Your Land" link or telephone 13 20 92 for assistance. Following application a "Notice of Requirements" will advise of water and sewer extensions to be built and charges to be paid. Please make early contact with the Coordinator since building of water/sewer extensions can be time

consuming and may impact on other services and building, driveway or landscape design. A copy of Sydney Water's Notice of Requirements must be submitted to the Principal Certifying Authority prior to the Construction Certificate being issued. The Section 73 Certificate must be submitted to the Principal Certifying Authority prior to the occupation of the development/release of the plan of subdivision, whichever occurs first.

13.6.2 A "Notification of Arrangement" Certificate from a recognised energy provider, stating that electrical services, including the provision of street lighting, have been made available to the development.

13.6.3 A written clearance from Telstra or any other recognised communication carrier, stating that services have been made available to the development or that arrangements have been made for the provision of services to the development.

13.7 **Salinity**

13.7.1 A report from a geotechnical engineer is to be submitted to Council certifying the site classification for the reactivity of the lots in the subdivision after identification of the soil characteristics in accordance with the provisions of AS 2870, "Residential Slabs and Footings."

13.8 **Waste Matters**

13.8.1 The development is to be completed in accordance with the waste requirements of **Condition 3.10.1**.

13.8.2 Physical treatment of the loading bay shall be installed (e.g. removable bollards) to maintain the bin collection area. Access for waste collection vehicles must be coordinated with the building manager.

13.8.3 A Strata Management Statement (or similar) must exist which clearly outlines:

- i. The requirement for the appointment of a building manager/caretaker to manage bins and bulky waste onsite in accordance with the approved waste management plan.
- ii. The responsibility for maintenance of the waste system (including any bin movement aides) and bin cleaning, and ensure waste collection points are clear and unobstructed prior to collection times.
- iii. The method of communication to new tenants and residents regarding the waste management services and collection system for the complex.
- iv. Includes a copy of the amended and approved waste management plan as submitted with this development application.
- v. Clearly outlines the responsibility for maintenance of the waste collection points and ensure they are clear and unobstructed prior to collection times.

13.8.4 Should general, recycling and bulky waste collection be undertaken by Council, the Strata Manger is to sign the 'Agreement for Onsite Waste Collection' form.

13.8.5 The Owners Corporation / Strata Manager will be responsible for ensuring that clear access is provided to the waste collection vehicles entering the property.

13.9 **Street Tree Planting**

13.9.1 Prior to the issue of the final Occupation Certificate, all required street tree planting and payments of bonds are to be completed to the satisfaction of Council's Project Officer Civil and Open Space Infrastructure.

13.10 **Other Matters**

- 13.10.1 All landscaping, recreation features and furniture, bbq facilities, children's play equipment and lighting shall be completed in accordance with the approved landscaping design plans submitted as part of the Construction Certificate. All landscaping is to be afforded suitable spacings and pot sizes to ensure that the range of the mature spread of the trees, shrubs and ground covers provide effective coverage and avoid the appearance of sparse landscaping.
- 13.10.2 All turfed areas shall be finished level with adjoining surfaces and graded to approved points of drainage discharge.
- 13.10.3 All fencing and retaining walls shall be completed in accordance with the approved details submitted as part of the Construction Certificate. All fencing/retaining work must be provided at full cost to the developer. All fencing is to be constructed on top of any retaining walls. The selected fencing material/design must also minimise/eliminate the potential for graffiti attacks. Where possible, foliage should be grown on/over fencing adjacent to public areas to minimise any potential for graffiti.
- 13.10.4 Vandal proof and security lighting, CCTV and security measures are to be provided in accordance with the approved details submitted as part of the Construction Certificate.
- 13.10.5 The required letterboxes are to comply with the details submitted as part of the Construction Certificate and with Australia Posts requirements for size. The letterbox system should be vandal resistant and secure.
- 13.10.6 All power boards should be housed within a locked cabinet to restrict tampering with the power supply. The lock set must be approved by the electricity authority.
- 13.10.7 Off-street car parking shall be encouraged by the installation of appropriate, permanent and prominent signs indicating its availability.
- 13.10.8 Entrance/exit points are to be clearly signposted and visible from the street and the site at all times.
- 13.10.9 Head room clearance at the basement ramp must comply with requirements of AS2890.1 (Section 5.3) for a Disabled Vehicle, and meet AS2890.1 – Appendix C for the disabled parking space and access to the lift.
- 13.10.10 All required internal roads and car parking spaces shall be line-marked, sealed with a hard standing, all-weather material to a standard suitable for the intended purpose.
- 13.10.11 The basement ceiling is to be light in colour to enhance lighting illumination.
- 13.10.12 A roller shutter and card-key system, or similar, is to be installed at the entry/exit points of the basement car park.
- 13.10.13 Basement storage areas are to have quality doors/cages and lock sets to restrict unauthorised access. These are recommended to be constructed of an appropriately robust steel welded mesh to be used in lieu of chain link wire.
- 13.10.14 Any future substation or other utility installation required to service the approved development shall not under any circumstances be sited on future or existing Council land, including road reservations and/or public reserves and also not on drainage zoned land.
- 13.11 **State Environmental Planning Policy No. 65 – Design Quality of Residential Flat Development**

13.11.1 No occupation certification must be issued unless all design verifications have been provided in accordance with Clause 154A of the Environmental Planning and Assessment Regulation 2000. A certifying authority must not issue an occupation certificate for the residential flat development unless the certifying authority has received a design verification from a qualified designer, being a statement in which the qualified designer verifies that the plans and specifications achieve or improve the design quality of the development for which development consent was granted, having regard to the design quality principles set out in Part 2 of [State Environmental Planning Policy No 65—Design Quality of Residential Flat Development](#).

13.12 **Adaptable Housing Units**

13.12.1 Certification from a qualified Access Consultant confirming that the Adaptable Housing Units are capable of being modified when required by the occupants in accordance with the Australian Adaptable Housing Standard (AS 4299-1995) is to be submitted to Council.

13.13 **NSW Local Police Matters**

13.13.1 CCTV is to be installed. Cameras shall monitor car park facilities, stairways, lifts, lobbies, entry/exit points, loading bays, the waste room and mailbox facilities.

13.13.2 Appropriate signage shall be installed at the site to notify occupants and visitors that CCTV cameras are present.

13.13.3 All lighting details shown on the submitted lighting plan shall be installed at the site. This includes lighting around all entry/exit points to the building, along all footpaths within the site, car parking areas and to the street number to facilitate identification of the site/building.

13.13.4 The latch/locking mechanism for the gates inside the development, should not be within the arm reach of any person externally.

13.13.5 All materials used along the ground level of the building around the perimeter of the site shall have permanent graffiti resistant coating applied.

13.13.6 Secure mailboxes are located either within the secure lobby or along the façade wall of the lobby (i.e. similar to PO boxes where the mailbox is orientated outwards and is opened from inside the lobby). Where mailboxes are located internally within the lobby, the applicant is required to purchase and install a key safe from Australia Post. This key safe shall be located near the building intercom or other suitable location near the entry. To purchase a key safe contact Australia Post (Nepean Delivery Facility) — (02) 4729 8600

13.13.7 Patio bolt locks (or similar) are to be installed to any sliding door and any open able window along the ground level.

13.14 **Graffiti Management Plan**

13.14.1 A “Graffiti Management Plan” is to be submitted for the separate approval of Council. The Plan is to address the following issues:

(a) Methods to minimise the potential for graffiti;

(b) Management/notification procedures for the “early” removal of graffiti no later than 48 hours after detection. Removal of any graffiti, visible from any public road or place, is the responsibility of the property owner/s;

(c) Annual review of any “management agreement” for the removal of graffiti to ensure the property is maintained at its optimum level; and

(d) Maintenance of suitable landscaping to minimise the potential for graffiti attacks.

13.15 Total Maintenance Plan

13.15.1 A “total” maintenance plan is to be prepared for the site. The plan is to ensure the following:

(a) The long term up-keep and cleanliness of the development, to ensure all buildings, public areas, pathways, through site links, soft and hard landscaping, children’s play equipment, fencing, mail boxes, lighting, bulky waste storage and loading areas, feature entry signage, parking signage and services are regularly inspected and maintained at optimum levels at all times.

(b) That security, cleanliness and general repairs are managed appropriately, and that areas are not left unattended for long periods thereby substantially increasing the opportunity for graffiti or anti-social behaviour. Any unwanted “junk mail” is to be collected on a regular basis and disposed of as necessary.

(c) The development is managed by a Site / Strata / Building Manager.

A copy of the Plan is to be submitted to Council for separate approval prior to the release of any Occupation Certificate.

13.16 Acoustic Verification

13.16.1 Certification must be provided by a qualified acoustic engineer that all work associated with the installation of the acoustic measures and noise attenuation has been completed in accordance with the certified design and to the standard required by this consent.

13.17 Contamination and Remediation

13.17.1 Prior to the issue of any Occupation Certificate, an appropriately qualified environmental consultant shall prepare a validation report. The validation report shall be carried out in accordance with:

- NSW Environment Protection Authority’s *Guidelines for Consultants Reporting on Contaminated Sites* (1997)
- NSW Environment Protection Authority’s *Contaminated Sites Sampling Design Guidelines* (1995).
- Australian and New Zealand Environment and Conservation Council and National Health and Medical Research Council’s *Australian and New Zealand Guidelines for the Assessment and Management of Contaminated Sites* (1992).

A NSW Environment Protection Authority accredited Site Auditor shall review the validation report and submit to Council a Site Audit Statement. The Site Audit Statement shall verify that the investigation, remediation and validation was carried out in accordance with the aforementioned guidelines and that the site is suitable for the proposed use.

13.18 Voluntary Planning Agreement

- 13.18.1 Written confirmation is to be submitted to Council's Manager Development Contributions verifying that the development accords with the Voluntary Planning Agreement for the height of buildings, subject to the letter of offer from the Applicant to enter into a Voluntary Planning Agreement dated 20 February 2018.
- 13.18.2 Written confirmation is to be submitted to Council's Manager Development Contributions confirming that the Voluntary Planning Agreement is registered on the property title and is recorded in Council's Voluntary Planning Agreement register.

14 OPERATIONAL (PLANNING)

14.1 Specific Uses

- 14.1.1 The approved development shall comply with the requirements of the following definition contained within State Environmental Planning Policy (Sydney Region Growth Centres) 2006:

'residential flat building' means 'a building containing 3 or more dwellings, but does not include an attached dwelling, a manor home or multi dwelling housing.'

- 14.1.2 The development is to accord with the Voluntary Planning Agreement for height of buildings, subject to the letter of offer from the Applicant to enter into a Voluntary Planning Agreement dated 20 February 2018.
- 14.1.3 The development shall not be used or converted for use for any purpose other than that:
- (a) Granted consent by Council's Notice of Determination, or
 - (b) Which is "Exempt Development" under the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 or other NSW or Council planning instrument.
- 14.1.4 The use of the approved development shall, at all times, be conducted in a manner consistent with the terms and conditions of this consent.
- 14.1.5 The hours of operation and noise levels from the ground level communal outdoor areas are to be appropriately managed to ensure that the occupiers of the buildings are not adversely affected by noise, in particular not prior to 8am and not after 10pm daily.

14.2 Access / Parking

- 14.2.1 All required off-street car parking spaces and internal driveways shall be maintained to a standard suitable for the intended purpose.

14.3 Storage

- 14.3.1 No goods, materials, or trade waste shall be stored, displayed for sale or manufactured at any time outside the building on either the internal roadway, car parking areas, landscaping or footpaths, other than in approved garbage receptacles.

14.4 Landscaping

- 14.4.1 All landscaped areas provided in accordance with the approved landscaping design plan shall be maintained at all times in a suitable manner.
- 14.4.2 Regular maintenance and up-keep of the site must therefore be undertaken to the site to

ensure that sightlines are kept free from obstructions.

- 14.4.3 The management of vegetation, gardens, planter boxes, communal areas, fences, decking, BBQ area, children's play equipment, lighting and other similar areas is to be incorporated within the future strata management plan once the development is occupied.

14.5 Waste Management and Collection

- 14.5.1 All waste and recycling collection areas and activities, including bulk waste storage and collection activities are to be appropriately managed wholly within the development site at all times and are the responsibility of the strata management (or similar) of the site.
- 14.5.2 Waste and recycling collection vehicles entering and exiting the property must do so in a forward direction.

14.6 Clothes Drying

- 14.6.1 The hanging/drying of clothes on balconies (where visible from a public place) is prohibited. If the development is to be strata subdivided, a clause is to be included in the Strata Management Statement (or similar) prohibiting the drying of clothes on balconies (where visible from a public place).

14.7 Lighting and Security

- 14.7.1 Spillage of light, if any, shall be controlled so as not to cause nuisance to the amenity of adjoining land.
- 14.7.2 All intruder alarms shall be fitted with a timing device in accordance with the requirements of the Protection of the Environment Operations Act 1997.
- 14.7.3 The maintenance of all external lighting is to be managed by way of an annual service agreement to ensure the security of the building and persons within are not compromised from dark or uncontrolled public areas.

14.8 Emergency Procedures

- 14.8.1 Instructions concerning procedures to be adopted in the event of an emergency shall be clearly displayed throughout the development for both public and staff information at all times to the satisfaction of Council.

14.9 Graffiti Removal

- 14.9.1 Removal of any graffiti, visible from any public road or place, is the responsibility of the property owner/s. All graffiti must be removed no later than 48 hours after detection. The approved Graffiti Management Plan is to be adhered to at all times.

14.10 Total Maintenance Plan

- 14.10.1 The approved Total Maintenance Plan must be adhered to at all times.

14.11 Environmental Management

- 14.11.1 Any activity carried out in accordance with this approval shall not give rise to air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.

- 14.11.2 All waste generated on the site is to be stored, handled and disposed of in such a manner as to not create air pollution (including odour), offensive noise or pollution of land and/or water as defined by the Protection of the Environment Operations Act 1997.
- 14.11.3 In accordance with the requirements of Part 5.7 Protection of the Environment Operations Act 1997, Council is to be informed of any pollution incident that occurs in the course of carrying out the approved activity where material harm to the environment is caused or threatened.
- 14.11.4 A post commissioning report produced by an independent organisation that is eligible for membership with the Association of Australian Acoustic Consultants within 3 – 6 months of the multi storey development operating to validate the findings of DA Noise Impact Assessment shall be submitted
- 14.11.5 To minimise the noise impact of the development on the surrounding environment, the collection and delivery of goods and materials (including garbage and recycling waste) from and to the premises shall not take place between the hours of 10pm and 7am.
- 14.11.6 All waste and recycling bins must be stored wholly within the approved waste storage area. The bins must only be put out for collection in the evening prior to pick-up and returned to the storage area as soon as possible after pick-up.

14.12 NSW Local Police Matters

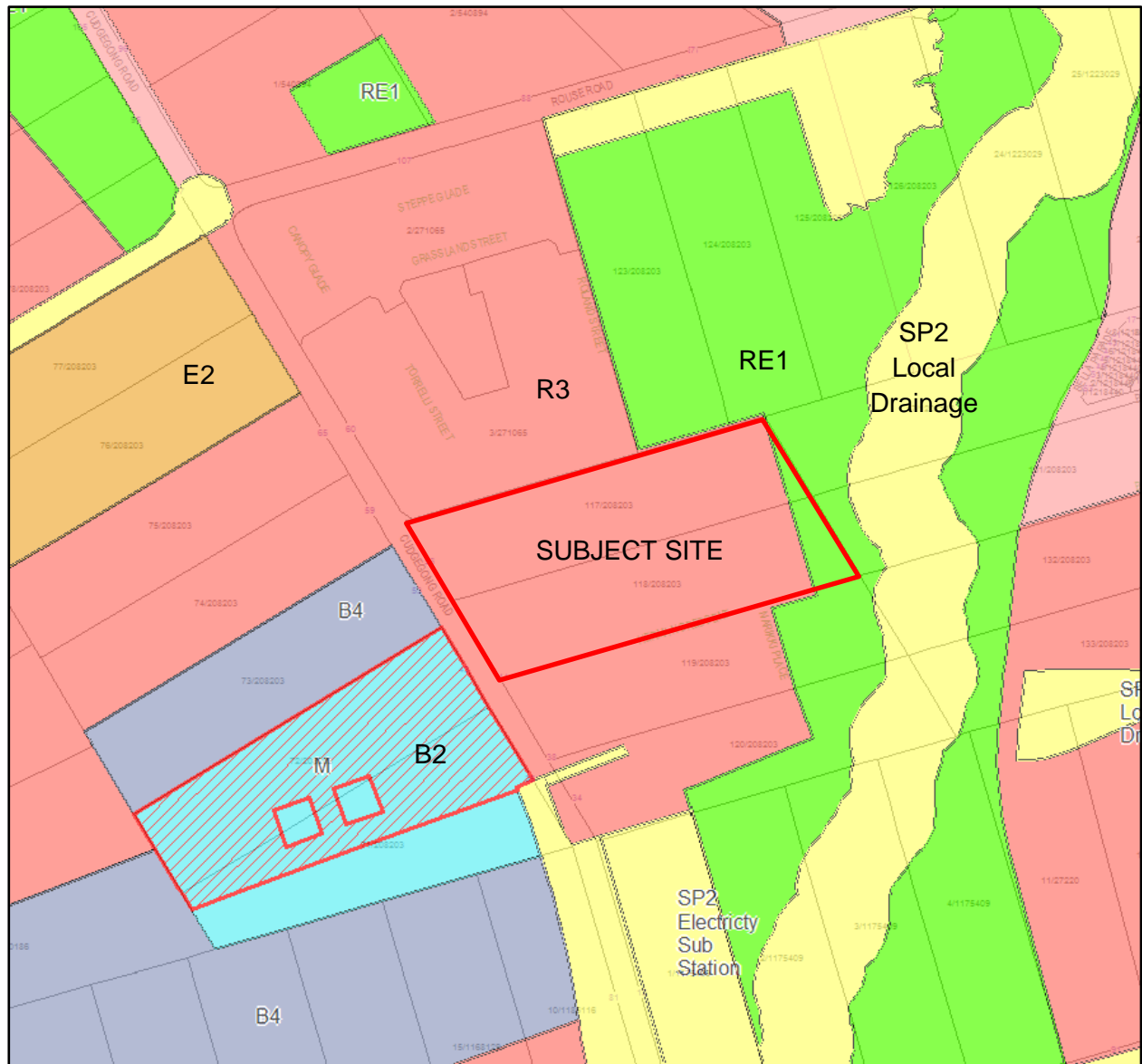
- 14.12.1 All security measures required by this consent shall be appropriately maintained and in good working order.
- 14.12.2 Contact details for the Body Corporate and Building Manager must be forward to the NSW Police once the Body Corporate is formed and in the event of any changes to these contact details.
- 14.12.3 A Security Management Plan and Evacuation Plan for this development is to be forwarded to Riverstone Police Station.

Aerial image (as at 18 January 2018)



Zoning extract

SEPP Sydney Region Growth Centres 2006



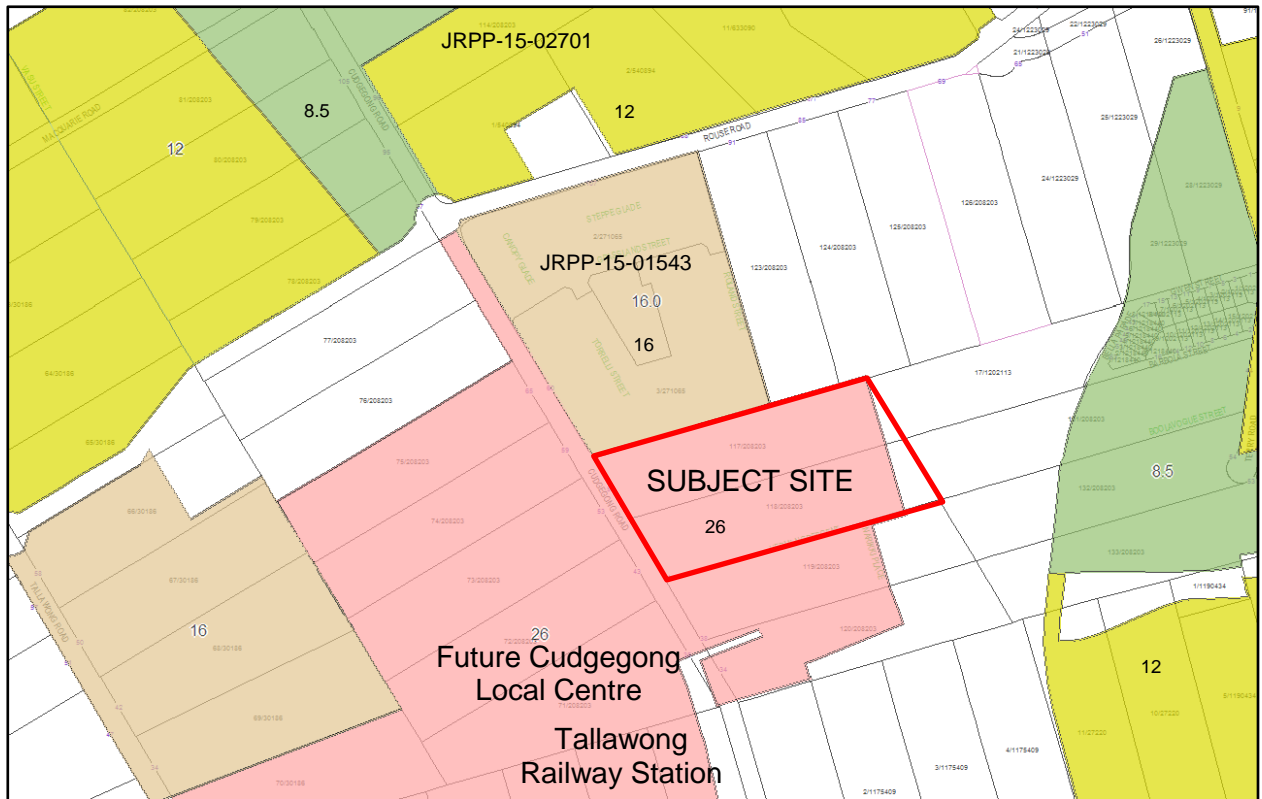
LEGEND

Zone

- B2 Local Centre
- B4 Mixed Use
- E2 Environmental Conservation
- R2 Low Density Residential
- R3 Medium Density Residential
- RE1 Public Recreation
- SP2 Infrastructure

Height of Buildings extract

SEPP Sydney Region Growth Centres 2006



Detailed information about proposal and DA submission material

1 Overview

- 1.1 This Development Application (DA) has been lodged by Mr M. Bugden for the following works at 44 and 56 Cudgegong Road, Rouse Hill:
- construction of 8 residential flat buildings and 2 townhouse complexes comprising a total of 711 apartments on the residential development lots 1, 2, 5 and 6 approved in DA-17-02743
 - a total of 1,057 car parking spaces in 3 basement levels comprising 846 resident spaces, 177 visitor spaces, 10 service bays and 24 car wash bays
 - a total of 396 basement bicycle parking spaces
 - ground level communal open space areas, including a centrally located park which is available for the private use of residents, their guests and the general public
 - associated landscaping, new road construction/dedication and stormwater drainage works
 - all waste storage and collection is provided on-site within the basement levels.
- 1.2 The proposal has a gross floor area of 67,131 m² and an FSR of 1.748:1, which is compliant with the maximum permitted FSR of 1.75:1 on this site under the Growth Centres SEPP.
- 1.3 The apartment mix consists of 134 x 1 bedroom apartments (19 %), 473 x 2 bedroom apartments (67 %), 38 x 3 bedroom apartments (5%), 50 x 2 bedroom townhouses (7% and 16 x 3 bedroom townhouses (2%). The proposed 'townhouse' style dwellings are a mix of 2 storey buildings, 3 storey buildings and multi-storey apartments within the residential flat buildings.
- 1.4 71 adaptable dwellings are provided, being 10% of the apartments.

2 Height and the Applicant's Offer of a Voluntary Planning Agreement (VPA)

- 2.1 The proposed development comprises a range of 2 and 3 storey townhouse style dwellings and 8 and 10 storey residential flat buildings. The building heights range from 8 m to 33.1 m (including the roofline and rooftop plant and equipment). The 8 and 10 storey residential flat building components of the proposed development exceed the maximum building height for development on this site of 26 m under the Growth Centres SEPP.
- 2.2 The proposed overall building height and extent of variation for each building is as follows:

Building	Number of storeys	Maximum RL	Maximum height	Height exceedance
44 Cudgegong Road: Building A	8 storeys	RL 83.85	27.2 m	1.2 m or 4.6%*

Building	Number of storeys	Maximum RL	Maximum height	Height exceedance
Building B	8 storeys	RL 81.85	26.65 m	0.65 m or 2.5%*
Building C	8 storeys	RL 79.15	28.96 m	2.96 m or 11.4%*
Building D	10 storeys	RL 82.60	32.8 m	6.8 m or 26.2%
Building E	2 storeys	RL 58.90	8 m	Complies
56 Cudgegong Road:				
Building A	8 storeys	RL 88.80	29.34 m	3.34 m or 12.8%
Building B	8 storeys	RL 85.00	30.06 m	4.06 m or 15.6%*
Building B2	3 storeys	RL 66.00	10 m	Complies
Building C	8 storeys	RL 79.20	27.71 m	1.71 m or 6.6% [@]
Building D	8 storeys	RL 78.00	30.6 m	4.6 m or 17.7%
Building E	10 storeys	RL 81.60	33.1 m	7.1 m or 27.3%

* = this height exceedance relates only to point encroachments for stair and lift overrun structures, rooftop plant and equipment and the roofline.

@ = this height exceedance relates to part of the building only as a result of the existing slope of the site. Approximately 70% of the roofline of the footprint of this building is below the height plane, and the remaining 30% of the roofline above the height plane.

- 2.3 Due to the topography of the site, which has a crossfall of up to 14.8 m from the north-western to the south-eastern corners of the site zoned for residential purposes, the relative level (RL) of the maximum height of the 2 x 10 storey buildings on the eastern edge of the site adjoining the RE1 Public Recreation zoned land will be lower than the maximum height of the western buildings adjoining Cudgegong Road by up to 7.2 m. As a result of the topography, the perceivable height of the buildings from Cudgegong Road and the surrounding areas will be reduced. A range of different materials and aesthetics have been applied to buildings across the site to provide further visual interest and to break up the bulk and scale of the built form.
- 2.4 The increase in height does not impact on the density of the development as demonstrated in the following massing study plans:



Figure 1: Massing model for 44 Cudgegong Road (the southern site) of the proposed development, demonstrating that the 2 additional storeys (consisting of 14 apartments) to the eastern Building D (shown in green) have been redistributed/reallocated from the centrally located 2 storey Building E (shown in red).

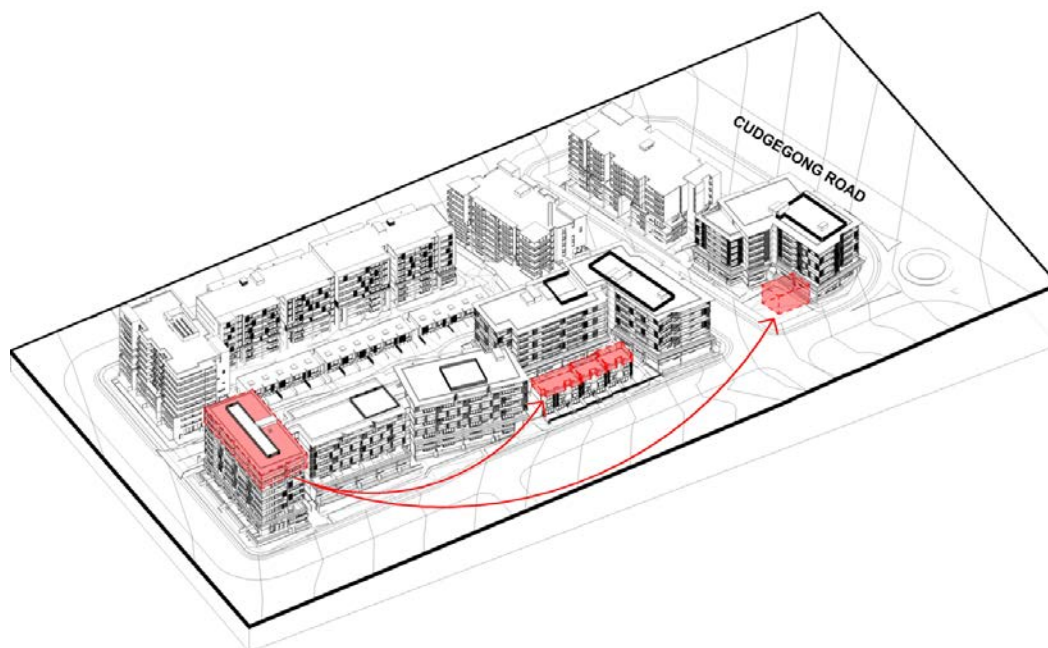


Figure 2: Massing model for 56 Cudgegong Road (the northern site) of the proposed development, demonstrating that the 2 additional storeys (consisting of 10 apartments) to the Building E (left of the image) have been redistributed/reallocated from the centrally located 3 storey Building B2 elements and the communal open space area of Building A (right of the image).

- 2.5 This approach shown in these figures demonstrates that no additional apartments have been derived from the effective redistribution of the building mass.
- 2.6 The application is accompanied by a letter of offer from the Applicant to enter into a Voluntary Planning Agreement with Council to establish a series of maximum building height levels throughout the development site. This is due to the varied scale of buildings being 2, 3, 8 and 10 storeys as shown above. The intent of the Voluntary Planning Agreement is to provide certainty in relation to the planning outcomes for the site and surrounding area, and to ensure that the building envelopes remain as approved and are not varied to create greater or uncertain impacts on the surrounding locality and community space proposed. This ensures that there is no further development on this site which will generate additional building mass and height, and result in overdevelopment. We consider the Applicant's offer to enter into a Voluntary Planning Agreement to enforce approved maximum building height levels on the site to be an appropriate development outcome. This Voluntary Planning Agreement is being prepared for public exhibition and execution.

3 Street setbacks

- 3.1 The proposal provides a minimum street setback to the building line of 6 m to all boundaries, with the majority of private balconies and architectural design features encroaching into this street setback area by up to 1.5 m. The Growth Centres Development Control Plan permits this encroachment for the first 3 levels. However, the controls require levels 4 and above to have a setback of 6 m. This application seeks to vary this development control.
- 3.2 It is noted that the Apartment Design Guide does not include a numerical requirement for street setbacks, and directs that consideration is to be given to providing articulation zones accommodating space for building entries, ground floor courtyards, balconies, landscaping, deep soil zones and to 'use a setback range where the desired character is for variation within overall consistency.' The proposal is consistent with these guidelines.
- 3.3 The Applicant has justified the departure from this control stating that the aims and objectives of the DCP are satisfied for the following reasons:

- The proposed encroachments enable distinct architectural design features which complement the strong modern design of the buildings, and 'complete' the 8 and 10 storeys building scale.
 - All internal floor areas are clear of the minimum required 6 m setback requirement.
 - The design offers an articulated streetscape presentation with defined street edges.
 - The proposal provides high quality entries to lobbies, foyers and ground floor courtyards.
 - Extensive landscaping to all setbacks creates a transition between the private and public domain, and upholds the desired landscaped character of the area.
 - As demonstrated in the submitted Crime Prevention through Environmental Design assessment, the proposal promotes passive surveillance and outlook to the street.
- 3.4 Although the full extent of the street setback as required by the Development Control Plan is not achieved, the proposal offers an interesting and high quality streetscape presentation which is considered satisfactory on its merits. Refer to the setback diagrams Drawing Numbers DA750 and DA751 at **attachment 5** and the discussion at **Section 7** of the Assessment Report.

4 Trees, landscaping and open space

- 4.1 The application is accompanied by an Arboricultural Impact Assessment by Redgum Horticultural which considers 54 existing trees on the site and recommends all trees for removal in the location of the proposed new local roads and within the residential development lots, being 35 trees. The report identifies 19 trees within the RE1 Public Recreation zoned land on the eastern side of the site to be retained. This includes 3 existing trees located at the north-eastern corner of the site in the vicinity of the proposed new local road which are also proposed to be retained, as demonstrated on the Trees to be Retained / Removed Plan (Drawing Number SKC12) provided at **attachment 5**.
- 4.2 Due to the extent of works required to achieve the appropriate road and stormwater levels, the retention and protection of these 3 trees will be difficult. During the detailed design stage of this development, the Applicant has offered to undertake works in a manner which will endeavour to retain these 3 trees. The challenge is due to the majority of the root structure of the trees being in the top 1 metre of soil and the expected level change is likely to be too great, with fill ranging from 200 mm to 900 mm. A condition of consent is recommended to require the retention of these 3 trees where possible, or for replacement trees to be planted.
- 4.3 The Applicant will also be required to plant new street trees along the new public roads.
- 4.4 Communal open space areas will be provided throughout the development that will be linked by internal pathways to provide residents of each building with easy access and a variety of different themed spaces for recreation, relaxation and entertaining. The centrally located public park will be available for use by the residents, their guests as well as the general public. Access to the communal open space areas is also provided via some ground level lobbies and to the at-grade apartments and townhouses.
- 4.5 The landscape plans draw inspiration from the natural bushland and creek corridor to the west of the site, while providing an urban edge to the character of open spaces within the central part of the site. An interesting mix of planting and native trees is proposed. The communal areas include a range of hard and soft landscaping features, plants and facilities, including BBQs, tables and seating, children's play equipment, turfed areas and tree and pergola shaded areas.

- 4.6 Deep soil zones have been proposed throughout the development to ensure sufficient planting can be achieved, most of which are co-located with the communal open space areas.
- 4.7 Large private open space areas will be provided for the ground floor dwellings, both within the street setback areas and adjoining the communal open space areas. Feature privacy fencing and native planting will also be applied as privacy screening. All apartments above ground level will have balconies.
- 4.8 The development will also have direct access to the proposed shared pedestrian cycle links along the creek corridor and the regional sports fields located directly to the north-east of the site.

5 Design

- 5.1 The proposed development comprises a distinct and contemporary design which is a positive contribution to the transitioning character of this locality and creates a desirable streetscape. The design uses a mix of building elements, textures, materials, colours and finishes which reflect the use, internal design and structure of the buildings.
- 5.2 The building proposed at the southern portion of the site at 44 Cudgegong Road is designed with brick framing elements that form a heavy base for the first 3 storeys of the façade and a lighter tower element above. The façade is made up of a series of boxes which provide relief so that the buildings do not consist of flat facades.
- 5.3 As a point of difference, the architectural intent for the northern portion of the site at 56 Cudgegong Road also provides a strong base element, with a contrasting expression through various material selections. The base consists of a light coloured precast concrete on the first 3 floors, with a fluted concrete band surrounding the third level. The towers above are darker in colour to make upper levels more recessive, with the emphasis being on the heavier base to create a perception of softness at the pedestrian level.
- 5.4 All materials for use on the external walls will be conditioned to achieve compliance with the relevant fire resistance levels.
- 5.5 A Design Verification Statement prepared by registered architect G Barnett of WMK Architecture Pty Ltd has been prepared for the development, in accordance with the requirements of SEPP 65.

6 Traffic and parking

- 6.1 The application is accompanied by a Traffic Impact Assessment prepared by Ason Group which includes a review of the surrounding road hierarchy, the strategic context of the Cudgegong Road (Area 20) Precinct Plan and its future road network, public transport infrastructure and pedestrian and cycle network. The report advises that the proposed site access, carpark and loading areas are designed in accordance with the relevant car parking rates and Australian Standards.
- 6.2 With regard to the deletion of the east-west Indicative Layout Plan local road which runs generally along the boundary between 44 and 56 Cudgegong Road, the Traffic Impact Assessment states that:

“This is a local road which primarily serves to provide local access to surrounding properties. Accordingly, the removal of this road connection will have limited implications on the wider road network generally.

Removal of this road section would potentially reduce publicly accessible on-street parking in the locality. The width between kerbs of the eastern and western north-south local roads is approximately 195 m. With less mandatory ‘No Stopping’ (10 m) on approach to intersections this could potentially yield up to 58 on-street parking spaces

(29 each side of the road) assuming an average on-street space length of 6 m. Taking into consideration the landscaped blisters proposed along northern and southern site frontages, this central road would have been expected to yield closer to 40 on-street parking spaces.

It should be noted that the primary purpose of these local roads identified under the ILP is to service adjacent developments and, accordingly, demand for kerbside parking within this road would primarily relate to visitor parking demands arising from the subject development. In this regard, demand for this notional on-street parking would be minimal on the basis that the development will provide the required quantum of resident and residential visitor parking spaces within basement levels.

In summary, the removal of the central east-west road between 44 and 56 Cudgegong Road will have minimal impact.”

- 6.3 Deletion of this local road was undertaken in DA-17-02743, and the proposed road layout was been endorsed by our development engineers, design engineers and the Recreation Planning and Design section, including the reduced road verge width of 1 metre (where 3.5 m is ordinarily required) along the north-eastern and eastern boundaries which adjoin the future public reserve, which is zoned RE1 Public Recreation.
- 6.4 The deletion of the east-west road also equates to the ‘loss’ of 40 on-street parking bays. To offset this, the application includes a surplus of 250 (32%) on-site parking spaces, comprising 217 surplus residential, service and car wash spaces and 33 surplus visitor spaces.
- 6.5 The proposed 711 apartments will generate the following peak hourly traffic volumes having regard for the high-density traffic generation rates outlined by the RMS Technical Direction:
 - 135 vehicles per hour during the morning peak
 - 107 vehicles per hour during the evening peak.
- 6.6 The traffic consultant states that extensive traffic modelling has been undertaken previously as part of the rezoning studies underpinning the Precinct and wider North West Growth Centre area, within the Cudgegong Road (Area 20) Precinct. The development is consistent with the relevant planning controls developed as part of those studies (land use and floor space ratio). Accordingly, the traffic impacts of the development have already been accounted for in this previous traffic analysis and therefore additional traffic and transport modelling of future (long term) conditions is not considered warranted as a result of this application.
- 6.7 The traffic consultant has undertaken traffic modelling of the interim access to Cudgegong Road, prior to full development of the Precinct and associated completion of precinct-wide infrastructure, and confirms that the access will operate satisfactorily during both morning and evening peak periods.
- 6.8 The assessment concludes that the proposal is supportable on traffic planning grounds and will not result in any adverse impacts on the surrounding road network or the availability of on-street parking.

7 Acoustic impacts

- 7.1 The proposal is accompanied by a Concept Design Acoustic Report prepared by Marshall Day Acoustics dated February 2017 which provides recommendations for acoustic attenuation. The anticipated sources of noise are considered to be:
 - noise from the Sydney Metro Northwest, including Tallawong Station and the Rapid Transit Rail Facility

- road traffic noise from Cudgegong Road
 - air conditioning units
 - shared building services, including carpark exhaust and air conditioning equipment.
- 7.2 The redevelopment of the adjoining site to the south, 38 Cudgegong Road for 8 storey residential flat buildings, is expected to absorb rail noise and act as a buffer, preventing the proposed development from being a direct receiver of rail associated noise.
- 7.3 Noise mitigation measures are recommended in the building design to ensure the proposed dwellings satisfy the relevant Australian Standards and NSW Environment Protection Authority (EPA) Industrial Noise Policy, and to ensure a suitable level of amenity is maintained.

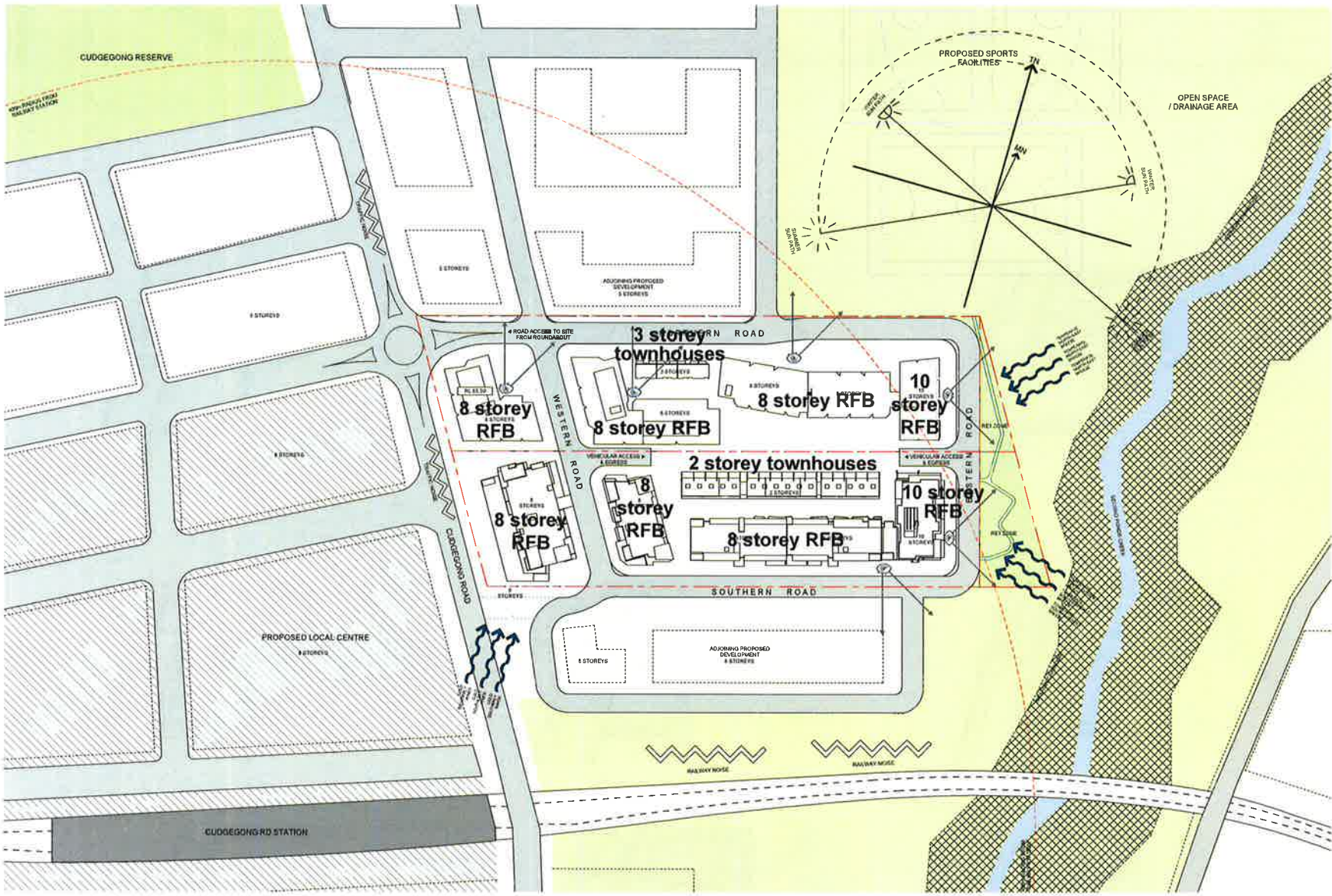
8 Contamination and remediation

- 8.1 **With regard to 44 Cudgegong Road**, the application is accompanied by a Stage 1 Contamination Assessment by Ground Technologies and dated June 2016, and a Phase 2 Environmental Site Assessment prepared by JBS&G Australia Pty Ltd and dated December 2017, due to the presence of imported fill material. The Phase 2 report concludes:
- Soil concentrations were generally reported below the ecological criteria with the exception of chromium in the soil at one location. Dependent upon the future development site layout, in particular the locations of landscaped areas, further assessment of surface and/or near surface chromium concentrations may be required to confirm whether management of ecological concerns is required.
 - Asbestos containing materials (ACM) were observed within the surface soils at the site, predominantly around buildings at the site. The asbestos impact generally comprised nonfriable ACM sheeting fragments present on the ground surface, or in near surface soils, likely as a result of damage to existing and/or former structures. These materials will require management at demolition phase to ensure issues associated with asbestos occurrence are appropriately addressed prior to commencement of redevelopment works.
 - Minor pollution generated by human activity was observed within the fill material and will require management during construction.
 - As such, there are not considered to be site contamination issues of a significant and/or widespread nature such that there is a risk of contaminant migration.
- 8.2 With regard to the reported results, it is considered that the site can be made suitable for the proposed residential use subject to appropriate evaluation of any requirements with regard to chromium in soil concentrations in proposed landscaped areas and the management of identified asbestos concerns via implementation of an Asbestos Management Plan to address regulatory requirements. Given the nature of the site, it is recommended that a Construction Management Plan, including an unexpected finds protocol, be implemented during the early works phase of future site development works such that any smaller scale issues associated with contamination may be suitably managed by the appointed contractors.
- 8.3 These reports were reviewed by our Environmental Health Officer who advised that, subject to the implementation of these recommendations which will be included as conditions of consent, the site can be made suitable for residential use. This includes a condition requiring the chromium identified on the site to be removed and disposed of off-site at a registered waste facility.

- 8.4 **With regard to 56 Cudgegong Road**, the application is accompanied by a Phase 1 Preliminary Land and Contamination and Salinity Assessment prepared by WSP Buildings Australia Pty Ltd and dated March 2015, which identified there is potential for current and historical activities to have caused localised contamination at the site, including the storage of machinery and scrap, areas of market gardening, fill materials in mounds and the dam wall and dam sediments. A Phase 2 Environmental Site Assessment prepared by JBS&G Australia Pty Ltd and dated December 2017 was submitted which concludes:
- Soil concentrations were reported below the adopted health based site assessment criteria for the proposed residential land uses.
 - Soil concentrations were generally reported below the ecological criteria with the exception of zinc at one location.
 - Minor pollution generated by human activity was observed within the fill material and will require management during construction.
 - ACM was identified in buildings currently present at the site. There is also the risk that further ACM may be present on the ground surface, beneath the existing vegetation cover that would require management if identified.
 - Considering the reported results, it is considered that the site could be suitable for the proposed residential use subject to the management of the zinc impacted soil and a Construction Management Plan, including an unexpected finds protocol, to be implemented during the early works phase of future site development works.
 - As such, there are not considered to be site contamination issues of a significant and/or widespread nature such that there is a risk of contaminant migration.
 - With regard to the reported results, it is considered that the site could be suitable for the proposed residential use subject to appropriate evaluation of any requirements with regard to ecological risks in soil in proposed landscaped areas and the management of potential asbestos concerns via implementation of an Asbestos Management Plan to address regulatory requirements.
 - Given the nature of the site, it is recommended that a Construction Management Plan including an unexpected finds protocol be implemented during the early works phase of future site development works, such that any smaller scale issues associated with contamination may be suitably managed by the appointed contractors.
- 8.5 The application is also accompanied by a Pre-Demolition Hazardous Materials Survey prepared by JBS&G Australia Pty Ltd and dated 14 November 2017, which identifies the locations and types of hazardous materials at the site, and provides recommendations for their removal including asbestos, lead containing dust, synthetic mineral fibres and polychlorinated biphenyls.
- 8.6 These reports have been reviewed by our Environmental Health Officer who advised that the potential contamination can be treated and the site can be made suitable for residential use.
- 8.7 Conditions of consent are recommended to be imposed to ensure that appropriate measures are undertaken as described above. Should a Remediation Action Plan be required, it will need to be prepared and approved by Council's Environmental Health Officer, then implemented and supported by a final validation statement prior to any Occupation Certificate being issued. The final validation statement must be prepared by a qualified geoscientist without any limitations in accordance with the *National Environment Protection (Assessment of Site Contamination) Measure (NEPM) 1999* as amended 2013.

9 Stormwater drainage works

- 9.1 The application is accompanied by a Civil Stormwater Management Report prepared by AT&L which considers the requirements for stormwater drainage, hydraulics and hydrology, overland flows, water sensitive urban design, sediment and erosion control during construction, road design and utility servicing.
- 9.2 Our Drainage Engineers have also recently conducted further investigation into the design of the bioretention areas which service this Seconds Ponds Creek catchment as indicated in the Section 94 Contributions Plan Number 22 - Rouse Hill Works. As a result, they have confirmed that bioretention area S4.2 and gross pollutant trap S4.1 to the north-east of the site will be deleted, and the bioretention area S5.2 and gross pollutant trap S5.1 to the south-east of the site is to be increased in size. The proposed civil works cater for the revised design of the water cycle management facilities for this catchment.

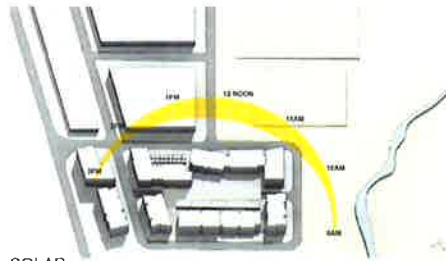


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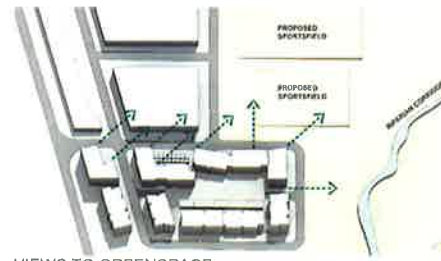
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									Scale 1:1000@A1	Drawing Size A1
									Project No 16117	Drawn By TB

Dimensions shown in millimetres and metres. Dimensions to centre of all dimensions unless otherwise stated. All dimensions to be confirmed by the client. The client is responsible for the accuracy of the information provided.

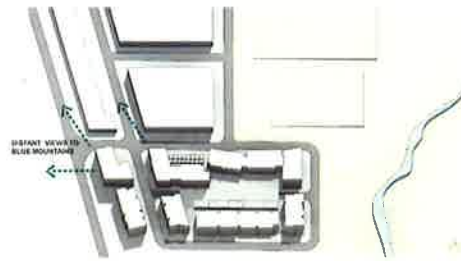
CAD Reference
All drawings created by W&A Architects Pty Ltd



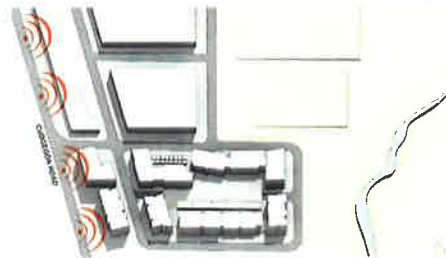
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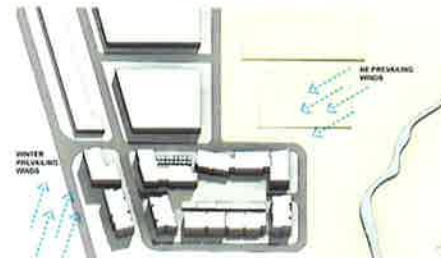
VIEWS TO GREENSPACE



DISTANT VIEWS



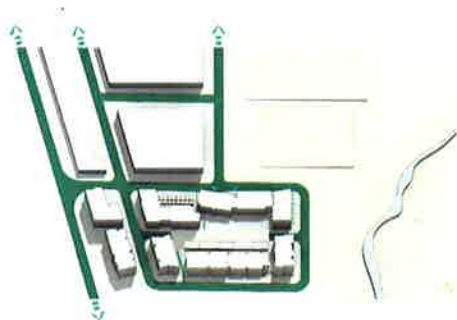
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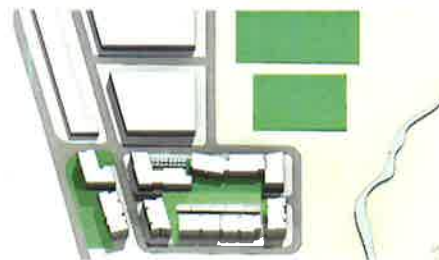
PREVAILING WINDS



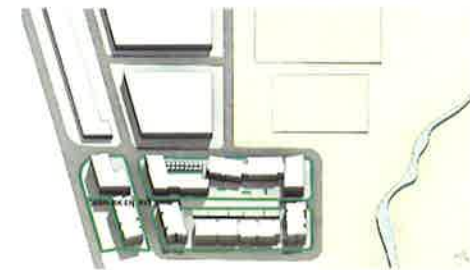
VEHICULAR ROUTES



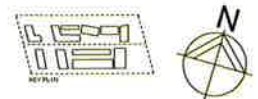
PEDESTRIAN MOVEMENT



COMMUNAL OPEN SPACE



DEEP SOIL ZONE



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Issue	Description	Date	Issue	Description	Date
1	SP-0210K	20/08/17			

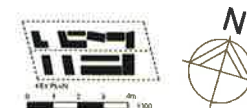
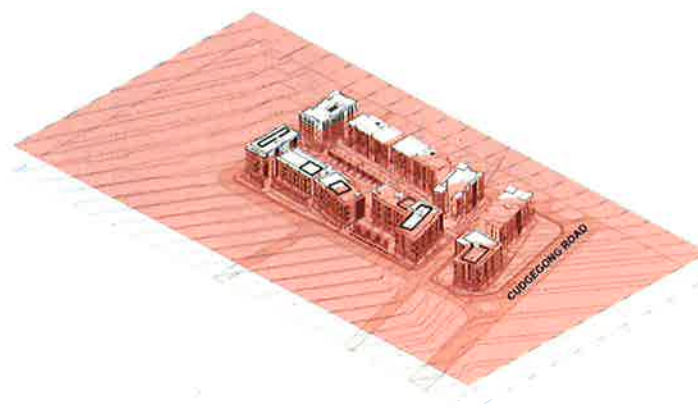
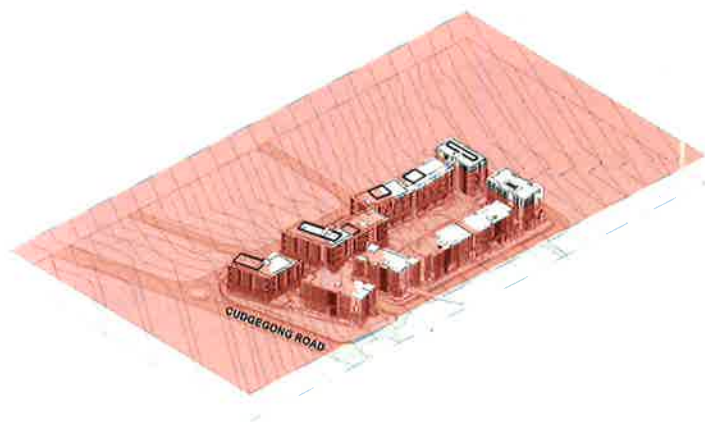
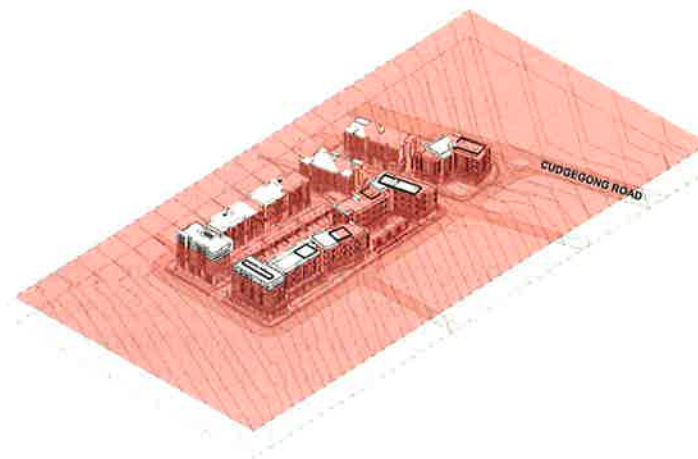
Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY.LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title
SITE DIAGRAMS

Drawing No. DA015	Issue A
Scale @A1	Drawing Size A1
Project No. 18117	Drawn By KB/PH

Deposited Drawings to be preserved as an 'as built' record. All dimensions to be confirmed by the client prior to construction. This drawing and its contents remain the property of WILLMORRE & MCKENZIE.



DEVELOPMENT APPLICATION
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Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	ISSUE FOR CONCRETE	08 DEC 97				METRO AWARD ROUSE HILL PTY LTD &	MULTI-RESIDENTIAL DEVELOPMENT	AXONOMETRIC - HEIGHT	DA910	C
B	REVISED FOR CONCRETE	08 DEC 97				CDMA AUSTRALIA PTY.LTD.	44-66 CUDGEGONG ROAD, ROUSE HILL	BLANKET		
C	SUBMITTAL AND REVISIONS	10 DEC 97					NSW 2155		Scale @A1	Drawing Size A1
									Project No. 16117	Drawn By TB

CAD Reference

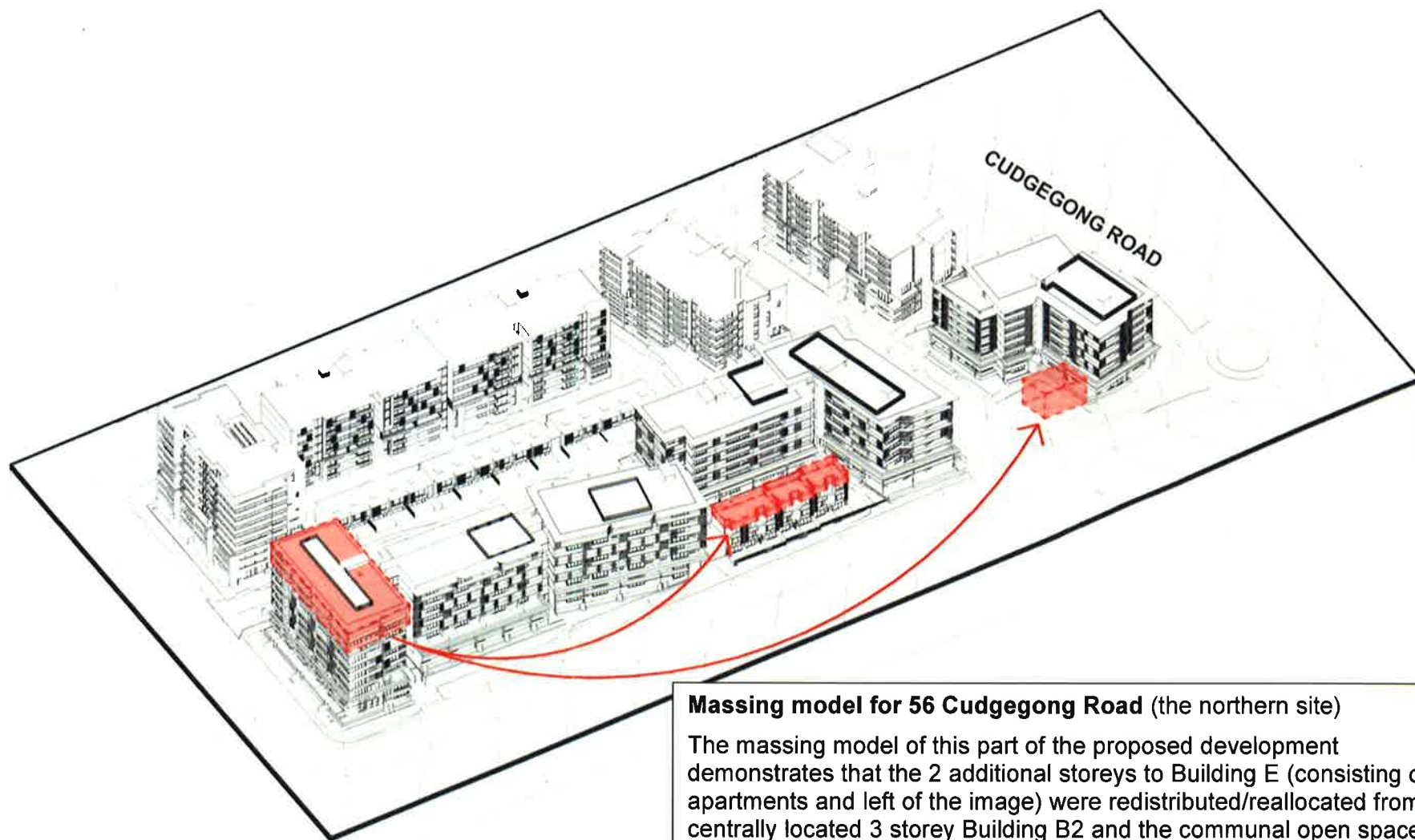


Massing model for 44 Cudgegong Road (the southern site)

The massing model of this part of the proposed development demonstrates that the 2 additional storeys to the eastern Building D (consisting of 14 apartments and shown in green) were redistributed/reallocated from the centrally located 2 storey Building E (shown in red).

This approach demonstrates that no additional apartments have been derived from the effective redistribution of the building mass.

Prepared by WMK Architecture and dated 14 June 2018.



Massing model for 56 Cudgegong Road (the northern site)

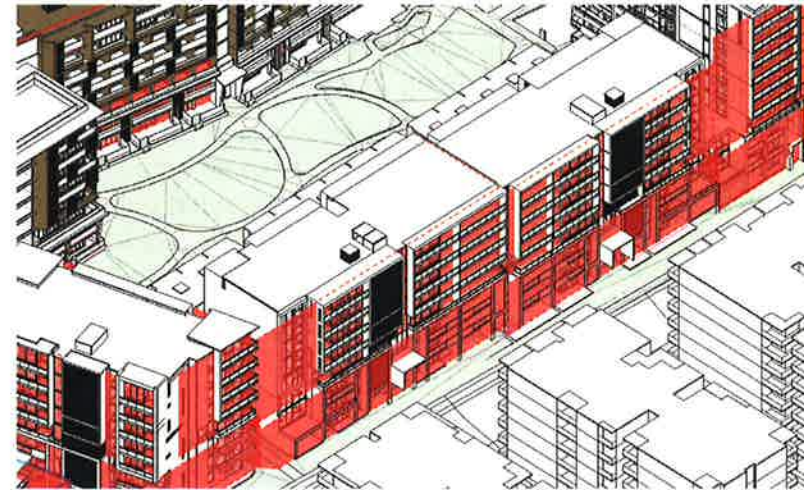
The massing model of this part of the proposed development demonstrates that the 2 additional storeys to Building E (consisting of 10 apartments and left of the image) were redistributed/reallocated from the centrally located 3 storey Building B2 and the communal open space area of Building A (right of the image).

This approach demonstrates that no additional apartments have been derived from the effective redistribution of the building mass.

Prepared by WMK Architecture and dated 14 June 2018.



OVERALL SITE VIEW



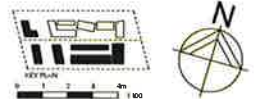
BUILDING C



BUILDING A - B



BUILDING D



DEVELOPMENT APPLICATION
ONLY
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Issue	Description	Date	Issue	Description	Date
A	ISSUE FOR COUNCIL REVIEW	08/08/17	B	ISSUE FOR COUNCIL REVIEW	08/08/17

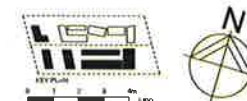
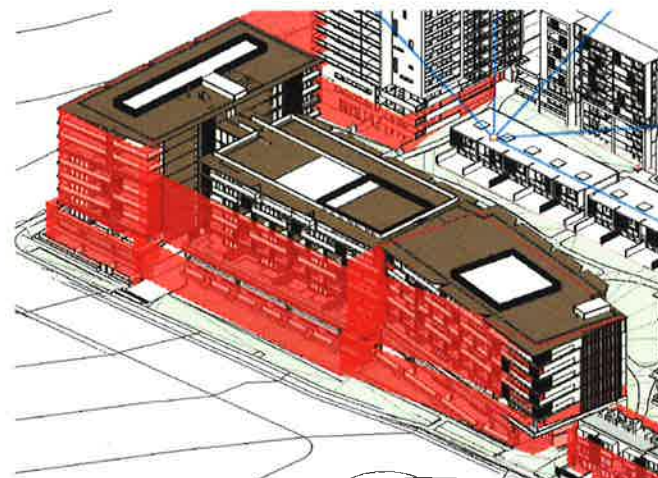
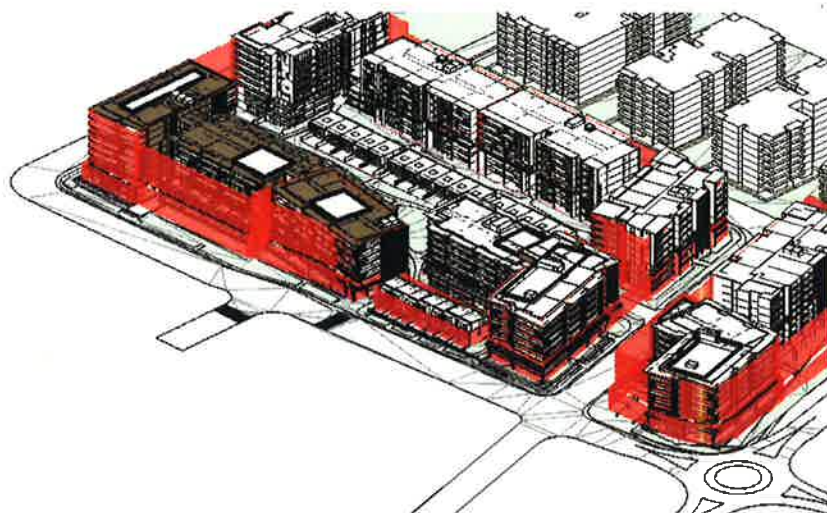
Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44-66 CUDGONG ROAD, ROUSE HILL
NSW 2155

Title
SET BACK DIAGRAMS - 44
CUDGONG RD

Drawing No. DA750	Issue B
Scale @A1	Drawing Size A1
Project No. 16117	Drawn By ML

Dimensions shown to take precedence over notes. Contractor to verify all dimensions on site before construction. All measurements to be referred to the finished ground level. The drawing and its contents remain the copyright of WILLMORRE & MOORE ARCHITECTS.



<div>DEVELOPMENT APPLICATION 1517 NOT FOR CONSTRUCTION</div>	Issues	Description	Date	Issues	Description	Date	Client	Project	Title	Drawing No.	Issue
	#										
		ISSUE HURDLE RE-DESIGN CODE	16/01/17 16/01/17		METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY.LTD.			MULTI-RESIDENTIAL DEVELOPMENT 44-56 CUDGONG ROAD, ROUSE HILL NSW 2156	SET BACK DIAGRAMS - 56 CUDGONG RD	DA/751 Scale @A1 Project No. 16117	B Drawing Size A1 Drawn By MIL
<div>Approved Drawings to take precedence over existing. Contractor to verify all dimensions on site before construction. All measurements to be reported to the architect immediately. The above are not to be construed as a warranty of any kind.</div>											

DEVELOPMENT SUMMARY - 44 CUDGONG RD

DEVELOPMENT SUMMARY - 44 CUDGONG RD

DEVELOPMENT SUMMARY - 44 CUDGONG RD

Level	Unit	1 Bed	1 Bed + G	2 Bed 1B	2 Bed 2B	3 Bed	4 Bed	Townhouse 2 Bed	Townhouse 3 Bed	Total
A.1.1 RL	0	0	0	0	0	0	0	0	0	0
A.1.2 RL	0	0	0	0	0	0	0	0	0	0
A.1.3 RL	0	0	0	0	0	0	0	0	0	0
A.1.4 RL	0	0	0	0	0	0	0	0	0	0
A.1.5 RL	0	0	0	0	0	0	0	0	0	0
A.1.6 RL	0	0	0	0	0	0	0	0	0	0
A.1.7 RL	0	0	0	0	0	0	0	0	0	0
A.1.8 RL	0	0	0	0	0	0	0	0	0	0
B.1.1 RL	0	0	0	0	0	0	0	0	0	0
B.1.2 RL	0	0	0	0	0	0	0	0	0	0
B.1.3 RL	0	0	0	0	0	0	0	0	0	0
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B.1.6 RL	0	0	0	0	0	0	0	0	0	0
B.1.7 RL	0	0	0	0	0	0	0	0	0	0
B.1.8 RL	0	0	0	0	0	0	0	0	0	0
C.1.1 RL	0	0	0	0	0	0	0	0	0	0
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C.1.100 RL	0	0	0	0	0	0	0	0	0	0

DEFINITIONS

Internal Area

The combined total of apartment areas, measured from the internal face of external and party walls, and the internal face of all glazing. This area does not include voids or service areas with apartments.

GFA

The sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.1 metres above the floor, and includes:
(a) the area of a mezzanine, and
(b) habitable rooms in a basement or attic, and
(c) any shop, auditorium, cinema and the like, in a basement or attic, but excludes:
(d) any area for common vertical circulation, such as lifts and stairs, and
(e) any basement,
(f) storage, and
(g) vehicular access, loading areas, garages and service, and
(h) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting and
(i) the area of voids over spaces: these shall be measured and recorded separately.

(g) car parking to meet any requirements of the consent authority (including access to that car parking), and
(h) any space used for the loading or unloading of goods (including access to it), and
(i) terraces and balconies with floor levels less than 1.1 metres high, and
(j) voids above a floor at the level of a carport or carway above.

NDA

The areas for Net Saleable Area have been measured as per the definition for Residential Property Area for semi-detached dwellings or townhouses, provided by the Property Council of Australia. The Residential Property Area is the aggregate of floor space contained within a dwelling at each floor level along the following rules:
1.1 for external walls, measuring to the external finished surface of the dominant portion of those walls;
1.2 in the case of shared walls, measuring to the centreline;
1.3 in the case of attic spaces or sloping walls, measuring from a point which provides clear area of 1.0 metres over the floor level;
1.4 in the case of stairs, the horizontal surface to all levels including the area underneath shall be measured;
1.5 in the case of voids over spaces: these shall be measured and recorded separately.

The gross area should be calculated by a registered surveyor.

AREA CALCULATIONS - 44 CUDGONG RD

Level	Internal Area	Net Saleable Area	Gross Floor Area
A.1.1 RL	101 m ²	101 m ²	101 m ²
A.1.2 RL	71 m ²	71 m ²	71 m ²
A.1.3 RL	71 m ²	71 m ²	71 m ²
A.1.4 RL	71 m ²	71 m ²	71 m ²
A.1.5 RL	71 m ²	71 m ²	71 m ²
A.1.6 RL	71 m ²	71 m ²	71 m ²
A.1.7 RL	71 m ²	71 m ²	71 m ²
A.1.8 RL	71 m ²	71 m ²	71 m ²
B.1.1 RL	61 m ²	61 m ²	61 m ²
B.1.2 RL	61 m ²	61 m ²	61 m ²
B.1.3 RL	61 m ²	61 m ²	61 m ²
B.1.4 RL	61 m ²	61 m ²	61 m ²
B.1.5 RL	61 m ²	61 m ²	61 m ²
B.1.6 RL	61 m ²	61 m ²	61 m ²
B.1.7 RL	61 m ²	61 m ²	61 m ²
B.1.8 RL	61 m ²	61 m ²	61 m ²
C.1.1 RL	61 m ²	61 m ²	61 m ²
C.1.2 RL	61 m ²	61 m ²	61 m ²
C.1.3 RL	61 m ²	61 m ²	61 m ²
C.1.4 RL	61 m ²	61 m ²	61 m ²
C.1.5 RL	61 m ²	61 m ²	61 m ²
C.1.6 RL	61 m ²	61 m ²	61 m ²
C.1.7 RL	61 m ²	61 m ²	61 m ²
C.1.8 RL	61 m ²	61 m ²	61 m ²
C.1.9 RL	61 m ²	61 m ²	61 m ²
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B002	2 REO TOWNHOUSE	12	Yes	Yes	60.00	
B003	2 REO TOWNHOUSE	12	Yes	Yes	60.00	
B004	2 REO TOWNHOUSE	12	Yes	Yes	60.00	
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B015	2 REO TOWNHOUSE	12	Yes	Yes	60.00	
B016	2 REO TOWNHOUSE	12	Yes	Yes	60.00	
100.00						




WMK **WMK Architecture**
11515 50th Street NE
Seattle, WA 98148
Tel: 206/761-1424
Fax: 206/761-1424
www.wmkarch.com

	Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
	A 0	RE-CEC DA CODE	08/04/17 08/04/17				METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY.LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44 56 CUDJONGONG ROAD, ROUSE HILL NCW 2155	44 CUDJONGONG ROAD APARTMENT SCHEDULE	DA006	B
	Scale									N/A	Drawing Size
	Project No.									16117	A1
	Drawn By										KB
	CAO Reference										

16117 KB/TB
 Reprinted Drawing to be provided as a set of drawings. Contractor to verify all dimensions as the fabric contractor. It is recommended to be reported to the Architect immediately. This drawing and its contents remain the copyright of L&L B.

DA



Revised drawings to take precedence over existing. Contractor to study all drawings on site before construction. All revisions to be reported to the Architect immediately. The drawing and its contents remain the copyright of L&W Construction, Inc. © 2014.

CAR PARKING SCHEDULE FOR

ULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD
ROUSE HILL NSW 2155

CLIENT

METRO AWARD CD AUSTRALIA PTY LTD

ISSUED FOR

DA

44 CUDGEGONG CAR PARKING REQUIREMENTS

	COUNCIL PARKING RATES	NO OF APARTMENTS	PARKING REQUIREMENT	TOTAL REQUIREMENT	PROVIDED - BUILDING A	PROVIDED - MAIN BASEMENT	Total
1 BED	1	88	88	370	127	267	394
2 BED	1	249	249				
3 BED	1.5	22	33				
VISITOR PARKING	0.2	359	72	71.8	16	73	89
SERVICE BAYS					1	4	5
CAR WASH					1	10	11
							499

BICYCLE PARKING	0.33	359	118	118	44	186	230
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ADAPT/DIS PARKING (INCL IN COUNT)	
38	10%
9	10%

56 CUDGEGONG CAR PARKING REQUIREMENTS

	COUNCIL PARKING RATES	NO OF APARTMENTS	PARKING REQUIREMENT	TOTAL REQUIREMENT	PROVIDED - BUILDING A	PROVIDED - MAIN BASEMENT	Total
1 BED	1	46	46	369	65	361	426
2 BED	1	273	273				
3 BED	1.5	33	50				
VISITOR PARKING	0.2	352	70	70	18	62	78
SERVICE BAYS					1	4	5
CAR WASH					1	10	11
							520

BICYCLE PARKING	0.33	352	116	116	42	156	198
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ADAPT/DIS PARKING (INCL IN COUNT)	
45	11%
7	9%

COMBINED TOTAL PARKING NUMBERS

	COUNCIL PARKING RATES	NO OF APARTMENTS	PARKING REQUIREMENT	TOTAL REQUIREMENT	PROVIDED - BUILDING A	PROVIDED - MAIN BASEMENT	Total
1 BED	1	134	134	739	192	628	820
2 BED	1	522	522				
3 BED	1.5	55	83				
VISITOR PARKING	0.2	711	142	142	32	135	167
SERVICE BAYS					2	8	10
CAR WASH					2	20	22
							1019

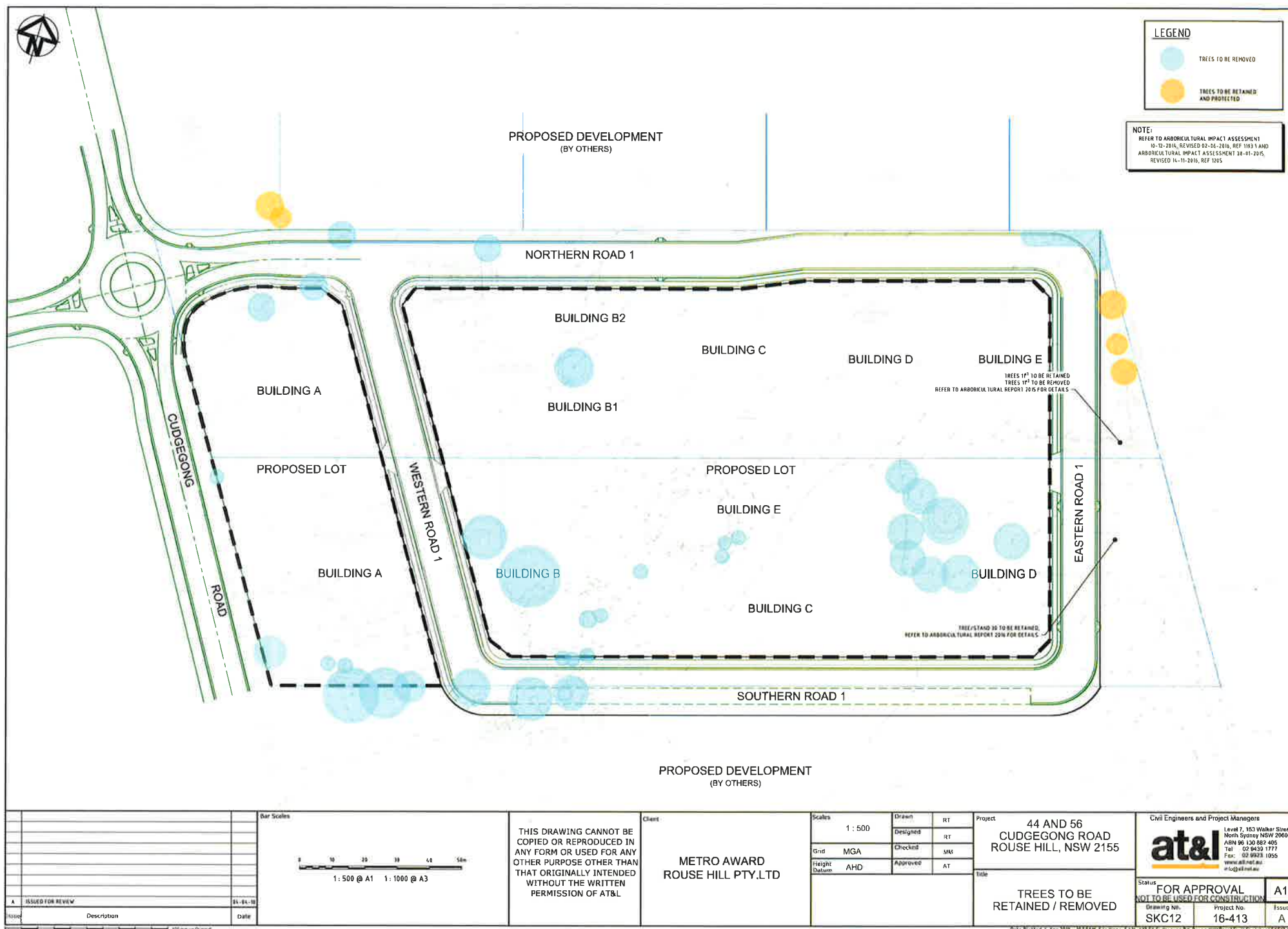
BICYCLE PARKING	0.33	711	235	235	86	342	428
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ADAPT/DIS PARKING (INCL IN COUNT)	
84	10%
16	10%



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	REVISION 1	11/01/18	2	REVISION 2	11/01/18	METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44-56 CUDGEGONG ROAD, ROUSE HILL NSW 2155	PARKING SCHEDULE	DA008	B
									Scale	Drawing Size
									N/A	A1
									Project No.	Drawn By
									16117	KB
<p>Drawings are to be used in accordance with the conditions of use set out in the project brief. It is the responsibility of the user to ensure that the drawings are used in accordance with the conditions of use.</p>									<p>CAD Reference PROJECT NO. 16117 USE REQUIREMENT FOR TYPING AND PRINT</p>	





56 CUDGONG LANDSCAPE AREA CALCULATIONS

SITE: 12898m²
LANDSCAPE: 4225m² (33% OF SITE)

44 CUDGONG LANDSCAPE AREA CALCULATIONS

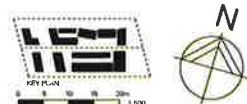
SITE: 14822m²
LANDSCAPE: 4262m² (28% OF SITE)

TOTAL

SITE AREA: 27520m²
TOTAL LANDSCAPE AREA: 8487m²

31% LANDSCAPE AREA

NOTE: REFER TO LANDSCAPE ARCHITECTS DRAWINGS



DEVELOPMENT APPLICATION
ONLY
FOR POST CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	SKETCH	08/06/17				METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44-56 CUDGONG ROAD, ROUSE HILL NSW 2155	LANDSCAPE PLAN	DA024	D
B	COAR FOR COAR	08/06/17								Drawing Size
C	NO COAR FOR COAR	08/06/17							1: 500@A1	A1
D	CORRECTIONS TO SET	17/06/17							Project No. 16117	Drawn By KB, TB
CAD Reference										

Drawings are to be used as a guide only. Drawings are not to be used for construction. If any drawings are to be used for construction, the drawings must be approved by the relevant authorities. The drawings and documents must be approved by the relevant authorities.



LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- BALCONIES
- 25m MAXIMUM HEIGHT PLANE
- FIRE STAIRS
- LIFT
- CIRCULATION AREA
- SERVICES AREA

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
A	DA CCVE	08/08/2017				METRO AWARD ROUSE HILL PTY. LTD.
B	SCHE FOR INFORMATION	01/12/2017				
C	RE CCVE DA CCVE	01/12/2017				
D	RE CCVE DA CCVE	01/12/2017				

Project
MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGONG ROAD
ROUSE HILL NSW 2155

Title
FLOOR PLAN BUILDINGS A &
B GROUND FLOOR

A B
REV PLAN

Scale
1: 200@A1

Project No
15136

CAD Reference
44DA102



Issue
D
Drawing Size
A1
Drawn by
FO

FOR CONTINUATION SEE DWG 44DA203

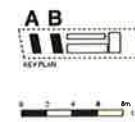
Dimensions drawings to be a provision in our writing. Contractor to verify all dimensions on site before construction. All measurements are to be reported to the architect immediately. These drawings and all contents remain the copyright of the architect.



FOR CONTINUATION SEE DWG 44DA204 / 205

LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- BALCONIES
- 26m MAXIMUM HEIGHT PLANE
- FIRE STAIRS
- LIFT
- CIRCULATION AREA
- SERVICES AREA



<p>DEVELOPMENT APPLICATION NOT FOR CONSTRUCTION</p>		<p>Issue Description Date Issue Description Date</p>		<p>Client METRO AWARD ROUSE HILL PTY. LTD.</p>		<p>Project MULTI-RESIDENTIAL DEVELOPMENT 44 CUDGEGONG ROAD ROUSE HILL NSW 2155</p>		<p>Title FLOOR PLAN BUILDINGS A & B LEVELS 2-3 (Typ.)</p>		<p>Drawing No 44DA103 Scale 1:200@A1 Project No 15136 CAD Reference</p>		<p>Issue C Drawing Size A1 Drawn By FO</p>	
<p>Issue A: 04-10-2007 Issue B: 04-10-2007 Issue C: 04-10-2007</p>		<p>Issue Description Date Issue Description Date</p>		<p>Client METRO AWARD ROUSE HILL PTY. LTD.</p>		<p>Project MULTI-RESIDENTIAL DEVELOPMENT 44 CUDGEGONG ROAD ROUSE HILL NSW 2155</p>		<p>Title FLOOR PLAN BUILDINGS A & B LEVELS 2-3 (Typ.)</p>		<p>Drawing No 44DA103 Scale 1:200@A1 Project No 15136 CAD Reference</p>		<p>Issue C Drawing Size A1 Drawn By FO</p>	

Consent to build is a condition of the development consent. The drawing and its contents remain the property of the client. The drawing is not to be used for any other purpose without the written consent of the client.



LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- BALCONIES
- 26m MAXIMUM HEIGHT PLANE
- FIRE STAIRS
- LIFT
- CIRCULATION AREA
- SERVICES AREA



<div>DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION</div>	Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No	Issue
	A	ON ISSUE	08/05/2017				METRO AWARD ROUSE HILL PTY. LTD.	MULTI-RESIDENTIAL DEVELOPMENT	FLOOR PLAN	44DA105	C
	B	FOR INFORMATION	01/12/2017					44 CUDGONG ROAD	BUILDINGS A & B	Scale	Drawing Size
	C	RE ISSUE ON ISSUE	01/12/2017					ROUSE HILL NSW 2155	LEVEL 4	1: 200@A1	A1
										Project No	Drawn by
										15136	FO
										CAD Reference	
										NOT TO BE USED FOR CONSTRUCTION	

FOR CONTINUATION SEE DWG 44DA205



LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- BALCONIES
- FIRE STAIRS
- LIFT
- CIRCULATION AREA
- SERVICES AREA
- 26m MAXIMUM HEIGHT PLANE

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	OK FOR CONSTRUCTION	06/03/2017	A	OK FOR CONSTRUCTION	06/03/2017	METRO AWARD ROUSE HILL PTY. LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44 CUDGEGONG ROAD ROUSE HILL NSW 2155	FLOOR PLAN BUILDINGS A & B LEVELS 5-8 (Typ) (LEVEL 5 SHOWN)	44DA106	C
B	OK FOR CONSTRUCTION	04/12/2017	B	OK FOR CONSTRUCTION	04/12/2017				Scale	Drawing Size
C	OK FOR CONSTRUCTION	16/12/2017	C	OK FOR CONSTRUCTION	16/12/2017				1:200@A1	A1
									Project No.	Drawn By
									15136	FO
									CAD Reference	
									REVISIONS	

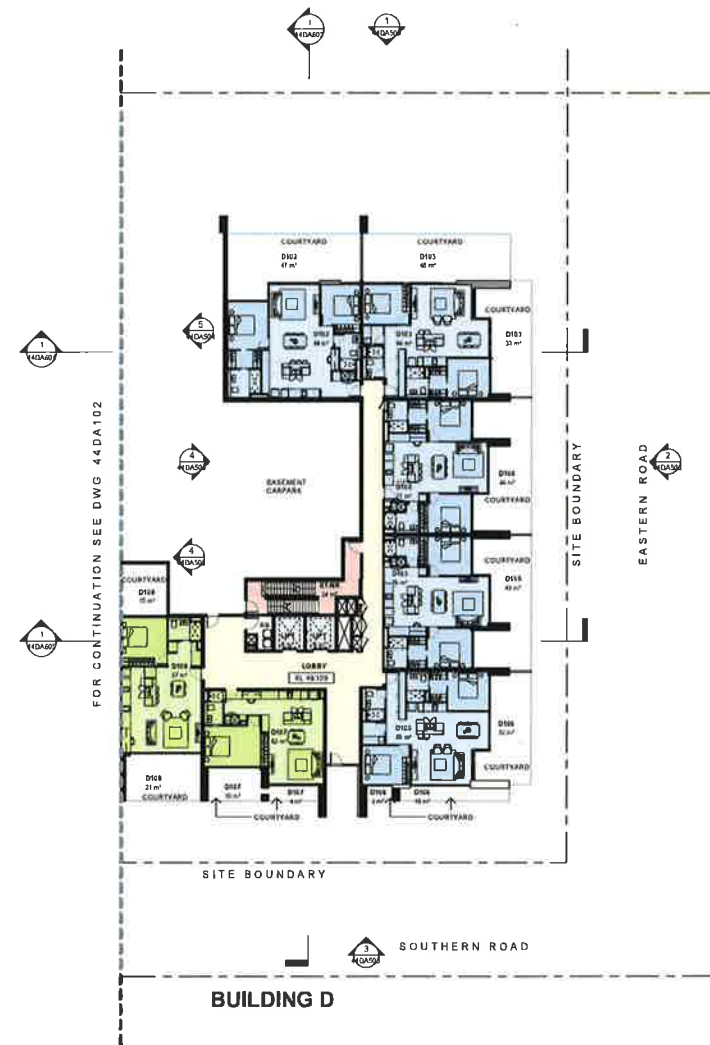




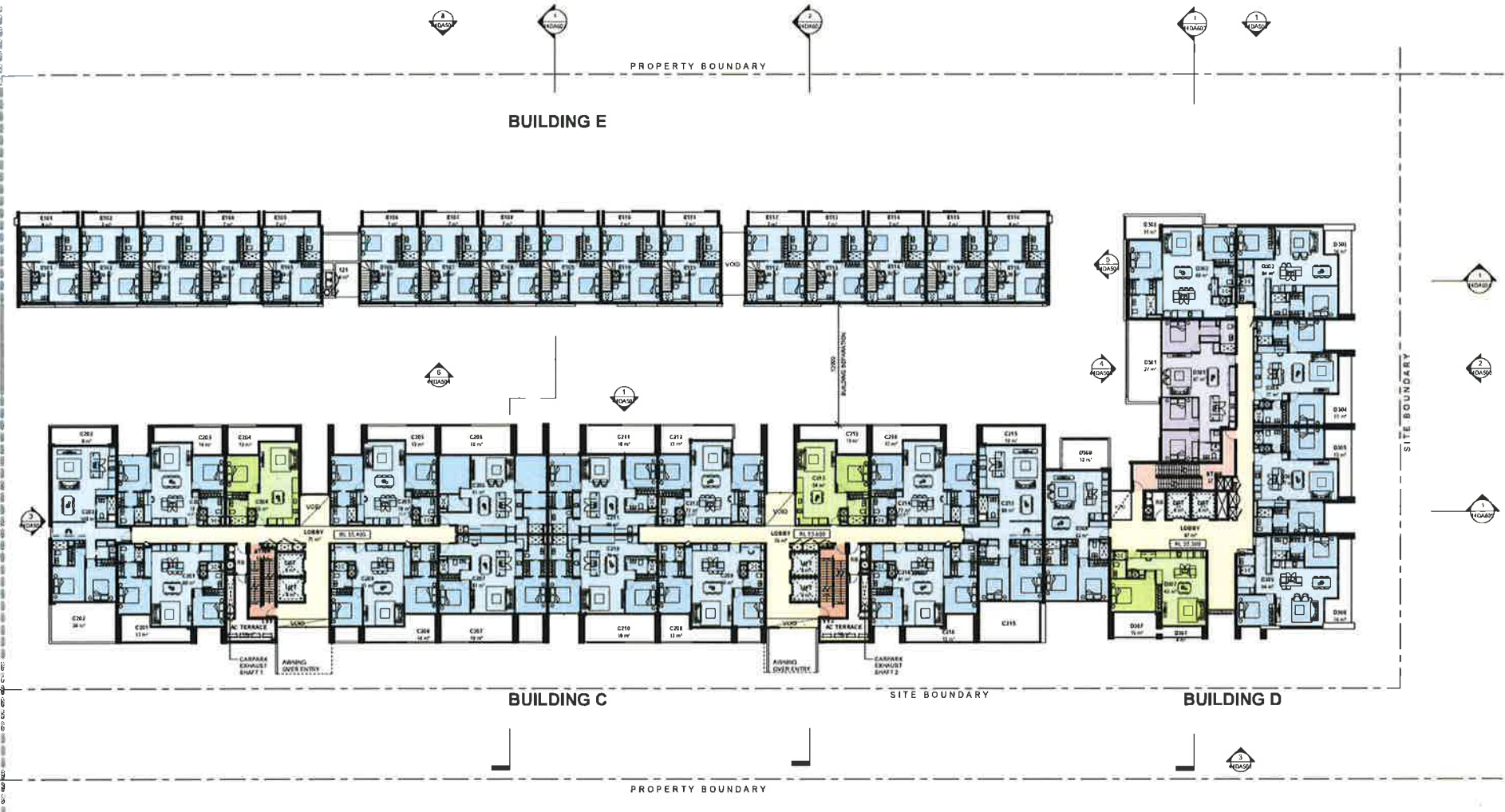
DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
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2	REVISION CODE	18/10/2017	2	REVISION CODE	18/10/2017				Scale 1:200@A1	Drawing Size A1
									Project No. 15136	Drawn By FO
									CAD Reference	

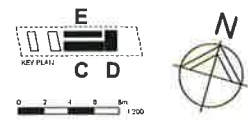
Dimensions shown to take precedence over scaling. Site reader to verify all dimensions on the building construction. All measurements to be reported to the Architect's satisfaction. The drawing and its contents remain the property of WMK. Reproduction for any purpose without written permission is prohibited.



FOR CONTINUATION SEE DWG 44DA102



- LEGEND
- 1 BEDROOM UNIT
 - 2 BEDROOM UNIT
 - 3 BEDROOM UNIT
 - BALCONIES
 - 26m MAXIMUM HEIGHT PLANE
 - FIRE STAIRS
 - LIFT
 - CIRCULATION AREA
 - SERVICES AREA



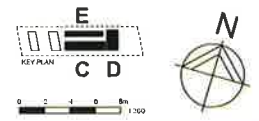
<div>DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION</div>		<table><tr><th>Issue</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>SH-001</td><td>08-09-2007</td></tr><tr><td>B</td><td>CODE FOR INFORMATION</td><td>08-10-2007</td></tr><tr><td>C</td><td>REVISED SH-001</td><td>08-10-2007</td></tr></table>	Issue	Description	Date	A	SH-001	08-09-2007	B	CODE FOR INFORMATION	08-10-2007	C	REVISED SH-001	08-10-2007	<table><tr><th>Issue</th><th>Description</th><th>Date</th></tr><tr><td>A</td><td>SH-001</td><td>08-09-2007</td></tr><tr><td>B</td><td>CODE FOR INFORMATION</td><td>08-10-2007</td></tr><tr><td>C</td><td>REVISED SH-001</td><td>08-10-2007</td></tr></table>	Issue	Description	Date	A	SH-001	08-09-2007	B	CODE FOR INFORMATION	08-10-2007	C	REVISED SH-001	08-10-2007	<table><tr><th>Client</th><td>METRO AWARD ROUSE HILL PTY. LTD.</td></tr><tr><th>Project</th><td>MULTI-RESIDENTIAL DEVELOPMENT 44 CUDGONG ROAD ROUSE HILL NSW 2155</td></tr><tr><th>Title</th><td>FLOOR PLAN BUILDING C - LEVEL 2 BUILDING D - LEVEL 3 BUILDING E - LEVEL 2</td></tr><tr><th>Drawing No.</th><td>44DA203</td></tr><tr><th>Scale</th><td>1:200@A1</td></tr><tr><th>Project No.</th><td>15136</td></tr><tr><th>Drawn By</th><td>FO</td></tr></table>	Client	METRO AWARD ROUSE HILL PTY. LTD.	Project	MULTI-RESIDENTIAL DEVELOPMENT 44 CUDGONG ROAD ROUSE HILL NSW 2155	Title	FLOOR PLAN BUILDING C - LEVEL 2 BUILDING D - LEVEL 3 BUILDING E - LEVEL 2	Drawing No.	44DA203	Scale	1:200@A1	Project No.	15136	Drawn By	FO	<table><tr><th>Issue</th><td>C</td></tr><tr><th>Drawing Size</th><td>A1</td></tr><tr><th>Drawn By</th><td>FO</td></tr></table>	Issue	C	Drawing Size	A1	Drawn By	FO
Issue	Description	Date																																															
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FOR CONTINUATION SEE DWG. DA105



- LEGEND**
- 1 BEDROOM UNIT
 - 2 BEDROOM UNIT
 - 3 BEDROOM UNIT
 - BALCONIES
 - 26m MAXIMUM HEIGHT PLANE
 - FIRE STAIRS
 - LIFT
 - CIRCULATION AREA
 - SERVICES AREA



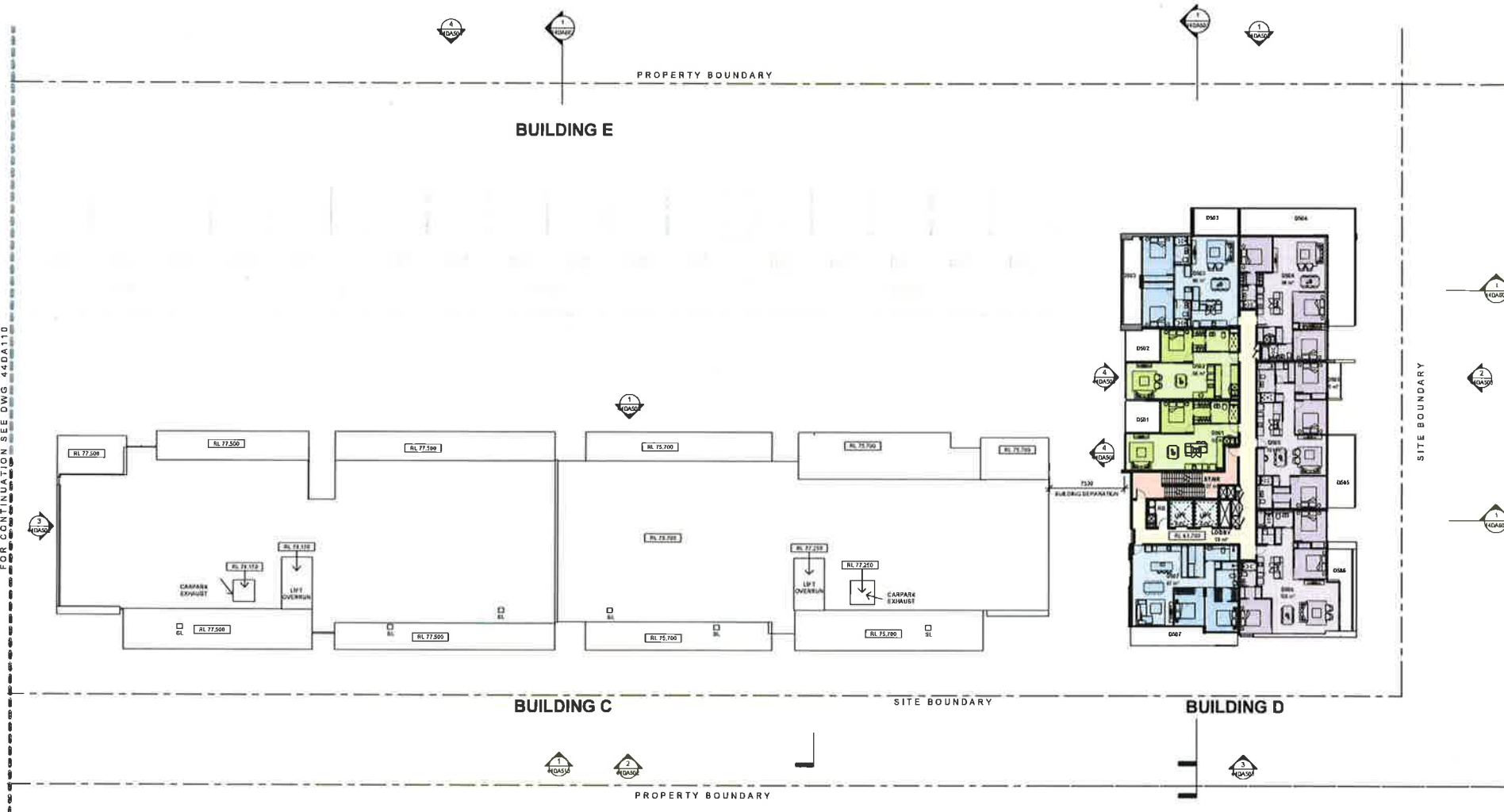
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B	ISSUE FOR INFORMATION	28.12.2017	B	ISSUE FOR INFORMATION	28.12.2017				Scale	Drawing Size
C	REV. 1000000000	16.12.2017	C	REV. 1000000000	16.12.2017				1:200@A1	A1
									Project No.	Drawn By
									15136	FO
									CAD Reference	



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FOR CONTINUATION SEE DWG 44DA110



LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- BALCONIES
- 26m MAXIMUM HEIGHT PLANE
- FIRE STAIRS
- LIFT
- CIRCULATION AREA
- SERVICES AREA

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
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B	ISSUE FOR INFORMATION	01-12-2017			
C	REVISED ISSUE	01-12-2017			

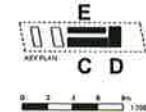
Client
METRO AWARD ROUSE HILL PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGONG ROAD
ROUSE HILL NSW 2155

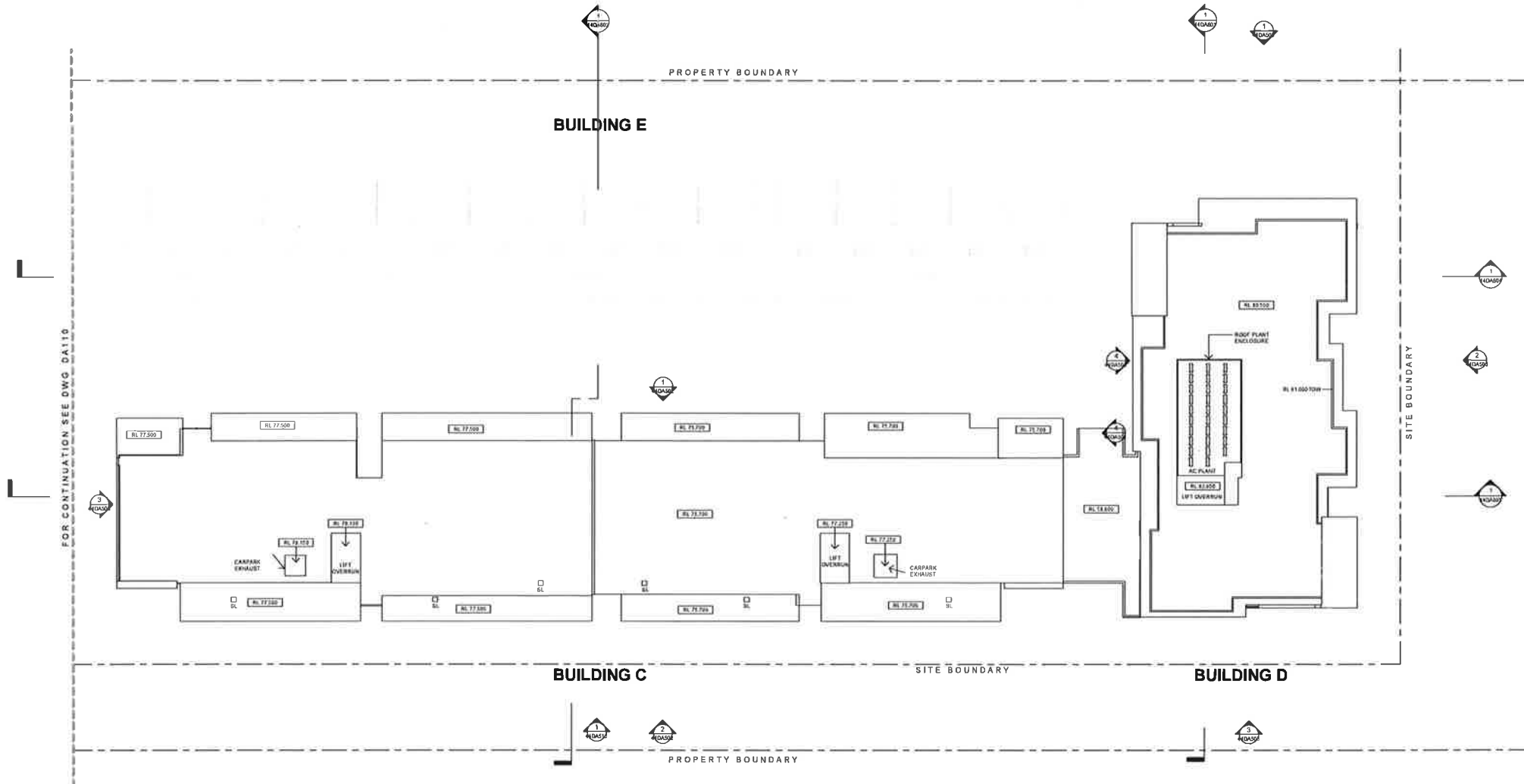
Title
FLOOR PLAN
BUILDING C - ROOF
BUILDING D - LEVEL 10
BUILDING E (Below)

Drawing No
44DA210
Scale
1:200@A1
Project No
15136

Issue
C
Drawing Size
A1
Drawn By
FO



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LEGEND

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- BALCONIES
- FIRE STAIRS
- LIFT
- CIRCULATION AREA
- SERVICES AREA

20m MAXIMUM HEIGHT PLANE

<div>DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION</div>	Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
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	C	SK-0002	18/10/2017	3	SK-0002	18/10/2017				Project No. 15136	Drawn By FO
	<div>Unapproved drawings to not be used for construction. Comments to only be added on site before your final plan. All measurements to be reported in the Architect's report. The drawing and all associated items are the property of WMK.</div>										
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DEVELOPMENT APPLICATION
DRAWING
FOR PRELIMINARY CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
A	DK CODE	02/05/17				CDMA AUSTRALIA PTY LTD.
B	CODE FOR CHANGES	06/09/17				
C	CODE FOR INFORMATION	01/02/17				
D	RE-DESIGN CODE	16/01/17				
E	RE-DESIGN CODE	25/01/17				

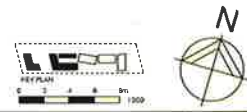
Project
MULTI-RESIDENTIAL DEVELOPMENT
58 CUDGONG ROAD ROUSE HILL NSW
2155

Title
FLOOR PLAN
LEVEL 1
BUILDING A, BW
LEVEL 2
BUILDING BE, B2

Drawing No.
58DA105
Scale
1:200@A1
Project No.
16117

Issue
E
Drawing Size
A1
Drawn By
CZ/TB/KB

- LEGEND
- FIP FINE ALARM CONTROL PANEL
 - LB LETTER BOX
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - TOWNHOUSE
 - PRIVATE OPEN SPACE
 - STAIRS
 - LOBBY
 - LIFTS
 - SERVICE
 - FIRE SERVICES



Revised drawings to all precedents must carry. Contractor to advise all drawings on site before construction. If amendments to be made to the drawings, they must be approved by the architect. The drawings and its contents remain the property of the architect.

PROPERTY BOUNDARY



FOR CONTINUATION SEE DWG 56DA204



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	56-0204	01.03.17
B	CODE FOR DOWNS	04.09.17
C	CODE FOR PARKING	04.09.17
D	RE-1000 SA-000	04.09.17

Issue	Description	Date
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Client
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD ROUSE HILL NSW
2155

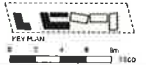
Title
FLOOR PLAN
LEVEL 2
BUILDING A, BW, B2
LEVEL 3
BUILDING BE

Drawing No.
56DA104
Scale
1:200@A1
Project No.
16117



Issue
D
Drawing Size
A1
Drawn By

LEGEND	
EXP. FIRE ALARM CONTROL PANELS	
EXP. LETTER BOX	
1 BEDROOM	STAIRS
2 BEDROOMS	DRIVE
3 BEDROOMS	LIFTS
TOWNHOUSE	RENDERER
PRIVATE OPEN SPACE	FIRE SERVICES



Revised drawings to be provided in writing. Contractor to advise all dimensions on site before construction. All measurements to be reported to the architect immediately. This drawing and its contents remain the copyright of W&M Architects Ltd.

PROPERTY BOUNDARY



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	ON CD/L	01/03/17
B	CD/L FOR COUNCIL	08/09/17
C	CD/L FOR INFORMATION	01/12/17
D	RE-LOD ON CD/L	16/11/17

Client
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD ROUSE HILL NSW
2155

Title
FLOOR PLAN
LEVEL 3
BUILDINGS A, BW, B2
LEVEL 4
BUILDING BE

Drawing No.
56DA105
Scale
1:200@A1
Project No.
16117
Issue
D
Drawing Size
A1
Drawn By

- LEGEND
- FIP FIRE ALARM CONTROL PANEL
 - LB LETTER BOX
 - 1 BEDROOM
 - 2 BEDROOMS
 - 3 BEDROOMS
 - TOWNHOUSE
 - PRIVATE OPEN SPACE
 - STAIRS
 - LOBBY
 - LIFTS
 - SERVICES
 - FIRE SERVICES



Dimensioned Drawings to all dimensions are shown. Dimensions are shown in millimeters on the drawing and in meters on the title block. If dimensions are shown in both units, the metric unit shall prevail. The drawing and all contents remain the copyright of WMK.

PROPERTY BOUNDARY



FOR CONTINUATION SEE DWG 56DA106



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	DA ISSUE	02/03/17
B	ISSUE FOR EXAMINATION	08/08/17
C	ISSUE FOR INFORMATION	01/12/17
D	REVISED DA ISSUE	01/12/17

Issue	Description	Date
A	DA ISSUE	02/03/17
B	ISSUE FOR EXAMINATION	08/08/17
C	ISSUE FOR INFORMATION	01/12/17
D	REVISED DA ISSUE	01/12/17

Client
CDMA AUSTRALIA PTY.LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGEGONG ROAD ROUSE HILL NSW
2165

Title
FLOOR PLAN
LEVEL 4
BUILDING A, BW
LEVEL 5
BUILDING BE

LEGEND

FIP FIRE ALARM CONTROL PANEL	STAIRS
LB LETTER BOX	DRY
1 BEDROOM	OPT
2 BEDROOM	SERVICES
3 BEDROOM	FIRE SERVICES
COMMON AREAS	
PRIVATE OPEN SPACE	



Drawing No.
56DA106
Scale
1: 200@A1
Project No.
16117



Issue
D
Drawing Size
A1
Drawn By

Consentment (Design) to be a precedence over existing Contract for any of dimensions on site the Site is intended to be reported to the relevant authorities. This drawing and its contents remain the copyright of WMK Architects Pty. Ltd.

PROPERTY BOUNDARY



BUILDING A



BUILDING W

BUILDING E

FOR CONTINUATION SEE DWG 56DA207



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	GR. ISSUE	02.03.17			
B	CODE FOR COLOUR	08.05.17			
C	CODE FOR INFORMATION	01.12.17			
D	RE. CODE FOR COLOUR	06.12.17			

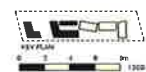
Client
CDMA AUSTRALIA PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD ROUSE HILL NSW
2155

Title
FLOOR PLAN
LEVEL 5
BUILDING A, BW
LEVEL 6
BUILDING BE

LEGEND

FIP - FIRE ALARM/CONTROL PANEL	
LB - LETTER BOX	
1 BEDROOM	STAIRS
2 BEDROOMS	LOBBY
3 BEDROOMS	SLIP TR
TENANT HOUSES	SERVICES
PRIVATE OPEN SPACE	FIRE SERVICES



Drawing No.
56DA107
Scale
1:200@A1
Project No.
16117

Issue
D
Drawing Size
A1
Drawn By

CAD Reference
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PROPERTY BOUNDARY



FOR CONTINUATION SEE DWG 56DA208



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
A	ON ISSUE	02/03/17				CDMA AUSTRALIA PTY.LTD.
B	ISSUE FOR COUNCIL	09/09/17				
C	ISSUE FOR APPROVAL	09/09/17				
D	RE ISSUE FOR COUNCIL	09/09/17				

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD ROUSE HILL NSW
2155

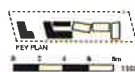
Title
FLOOR PLAN
LEVEL 6
BUILDING A, BW
LEVEL 7 BE

Drawing No.
56DA108
Scale
1:200@A1
Project No.
16117



Issue
D
Drawing Size
A1
Drawn By

- LEGEND
- FIP FIRE ALARM CONTROL PANEL
 - UB LETTER BOX
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - TOWNHOUSE
 - PRIVATE OPEN SPACE
 - STAIRS
 - LOBBY
 - LIFTS
 - SERVICES
 - FIRE SERVICES



Dimensions shown to be provided in existing. Contractor to verify all dimensions on site before construction. All measurements to be reported to the Planning Department. This drawing and all contents remain the copyright of WMK.



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	ISSUE FOR COUNCIL	01.03.17
B	ISSUE FOR INFORMATION	05.05.17
C	ISSUE FOR INFORMATION	05.05.17
D	RE-DESIGN ISSUE	05.05.17

Issue	Description	Date
A	ISSUE FOR COUNCIL	01.03.17
B	ISSUE FOR INFORMATION	05.05.17
C	ISSUE FOR INFORMATION	05.05.17
D	RE-DESIGN ISSUE	05.05.17

Client
CDMA AUSTRALIA PTY.LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD ROUSE HILL NSW
2155

Title
FLOOR PLAN
LEVEL 7
BUILDING A, BW
LEVEL 8
BUILDING BE

Drawing No.
56DA109
Scale
1:200@A1
Project No.
16117

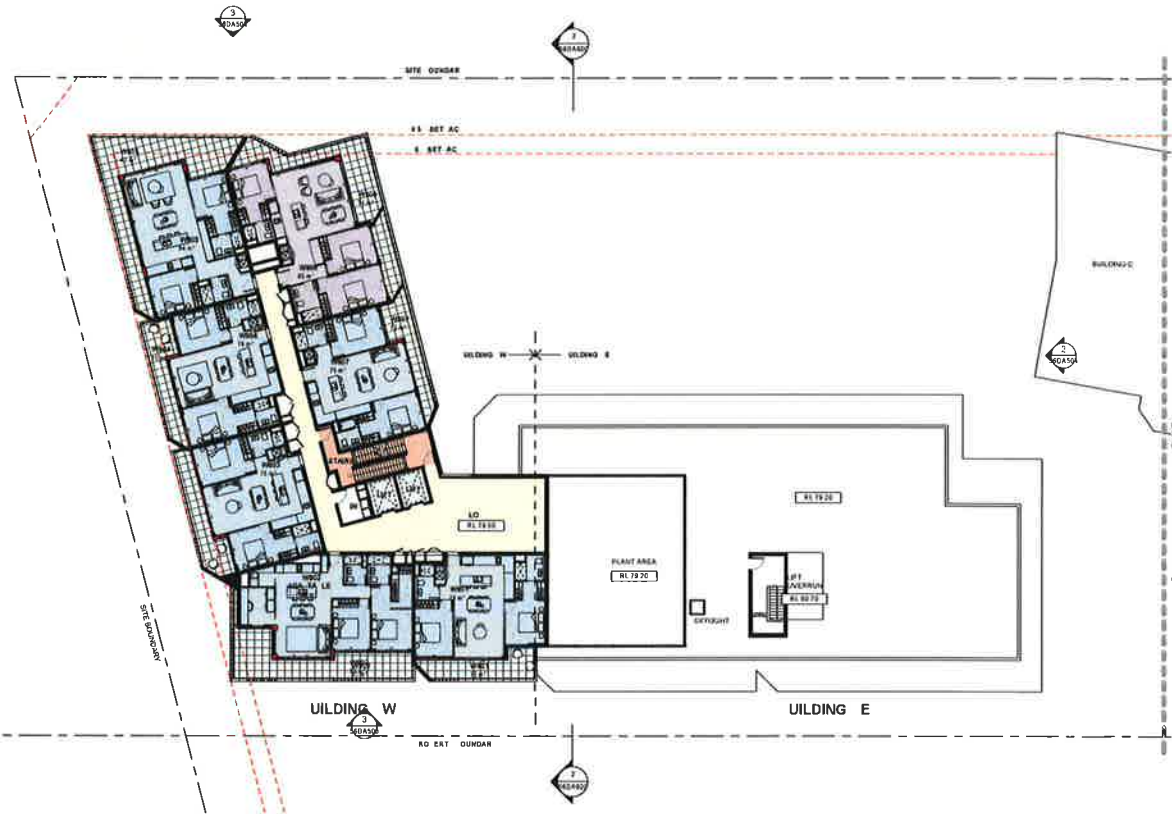
Issue
D
Drawing Size
A1
Drawn By

LEGEND	
FFP FIRE ALARM CONTROL PANEL	
LB LETTER BOX	
31 BEDROOM	31 BEDROOM
32 BEDROOM	32 BEDROOM
33 BEDROOM	33 BEDROOM
34 BEDROOM	34 BEDROOM
35 BEDROOM	35 BEDROOM
36 BEDROOM	36 BEDROOM
37 BEDROOM	37 BEDROOM
38 BEDROOM	38 BEDROOM
39 BEDROOM	39 BEDROOM
40 BEDROOM	40 BEDROOM
41 BEDROOM	41 BEDROOM
42 BEDROOM	42 BEDROOM
43 BEDROOM	43 BEDROOM
44 BEDROOM	44 BEDROOM
45 BEDROOM	45 BEDROOM
46 BEDROOM	46 BEDROOM
47 BEDROOM	47 BEDROOM
48 BEDROOM	48 BEDROOM
49 BEDROOM	49 BEDROOM
50 BEDROOM	50 BEDROOM
51 BEDROOM	51 BEDROOM
52 BEDROOM	52 BEDROOM
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54 BEDROOM	54 BEDROOM
55 BEDROOM	55 BEDROOM
56 BEDROOM	56 BEDROOM
57 BEDROOM	57 BEDROOM
58 BEDROOM	58 BEDROOM
59 BEDROOM	59 BEDROOM
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94 BEDROOM	94 BEDROOM
95 BEDROOM	95 BEDROOM
96 BEDROOM	96 BEDROOM
97 BEDROOM	97 BEDROOM
98 BEDROOM	98 BEDROOM
99 BEDROOM	99 BEDROOM
100 BEDROOM	100 BEDROOM



Dimensioned drawings to be used for construction. Contractors to verify all dimensions on site before construction. All encumbrances to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architects Pty Ltd.

PROPERTY BOUNDARY



FOR CONTINUATION SEE DWG 56DA210



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	SKETCH	02/03/17
B	COLOR REVISIONS	06/03/17
C	SCALE FOR INFORMATION	06/03/17
D	RECEIVED IN CASE	06/03/17

Issue	Description	Date
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Client
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD ROUSE HILL NSW
2155

Title
FLOOR PLAN
LEVEL 8, BW
BUILDING A, BW
LEVEL 9
BUILDING BE

LEGEND	
FP: FIRE ALARM CONTROL PANEL	
LB: LETTER BOX	
1 BEDROOM	STAIRS
2 BEDROOM	LOBBY
3 BEDROOM	LIFT
TOWNHOUSE	SERVICE
MINI-PARK GREEN SPACE	FIRE SERVICES



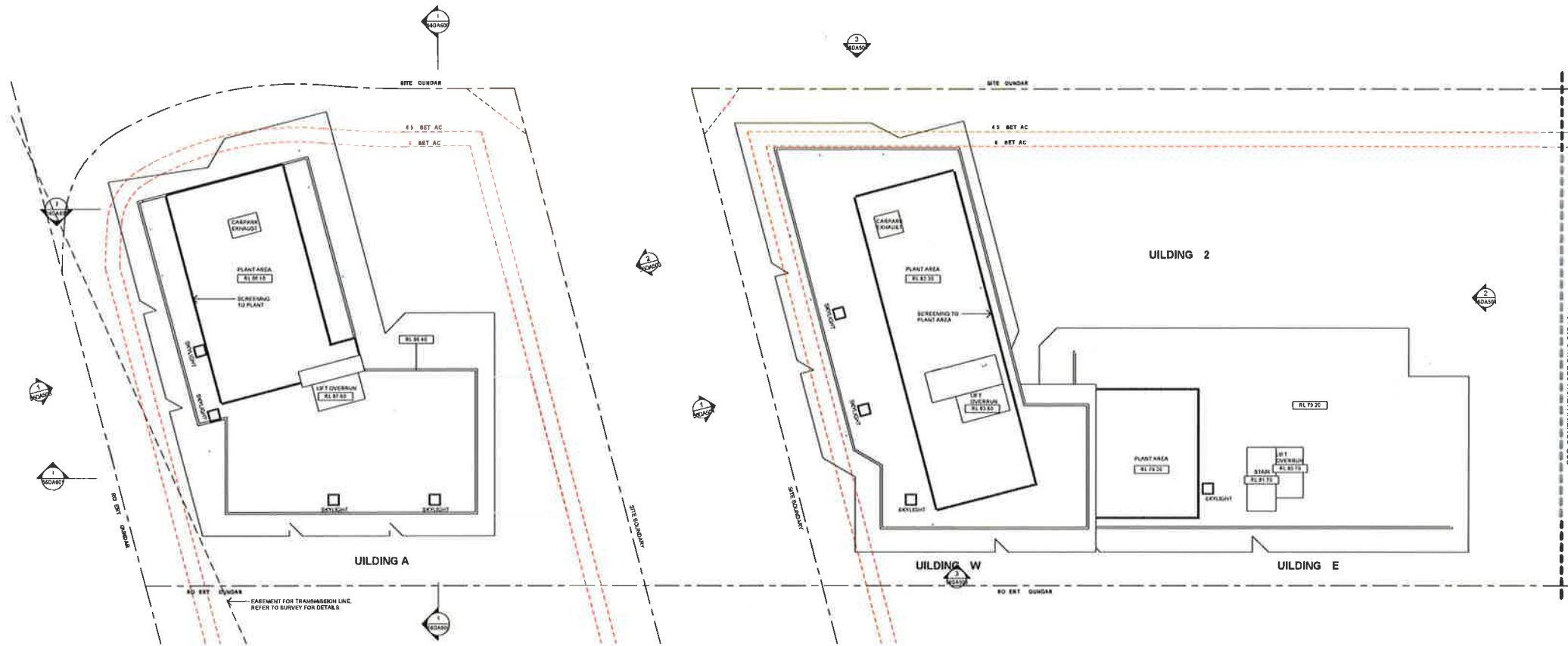
Drawing No.
56DA110
Scale
1:200@A1
Project No.
16117



Issue
D
Drawing Size
A1
Drawn By

Disclaimer: Drawings to take precedence over verbal. Contractor to verify all dimensions on the ground construction. All responsibilities to be reported to the relevant regulatory. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd.

PROPERTY BOUNDARY



FOR CONTINUATION SEE DWG 55DA111



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
A	ISSUE	05/09/17				CDMA AUSTRALIA PTY.LTD.
B	CODE FOR COUNCIL	06/09/17				
C	CODE FOR INFORMATION	01/10/17				
D	REVISED CODE	01/10/17				

Project
MULTI-RESIDENTIAL DEVELOPMENT
58 CUDGONG ROAD ROUSE HILL NSW
2155

Title
A & B ROOF PLAN

Drawing No. 55DA111	Issue D
Scale 1:200@A1	Drawing Size A1
Project No. 16117	Drawn By

CAD Reference
DWG 55DA111 (A & B ROOF PLAN) - 01/10/17
DWG 55DA111 (A & B ROOF PLAN) - 01/10/17
DWG 55DA111 (A & B ROOF PLAN) - 01/10/17

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	DR ISSUE	02.03.17
B	CODE FOR COVERAGE	06.09.17
C	CODE FOR INFORMATION	01.12.17
D	RE-TOED DA CODE	06.11.17
E	RE-TOED DA CODE	21.12.17

Issue	Description	Date	Client
			CDMA AUSTRALIA PTY.LTD.

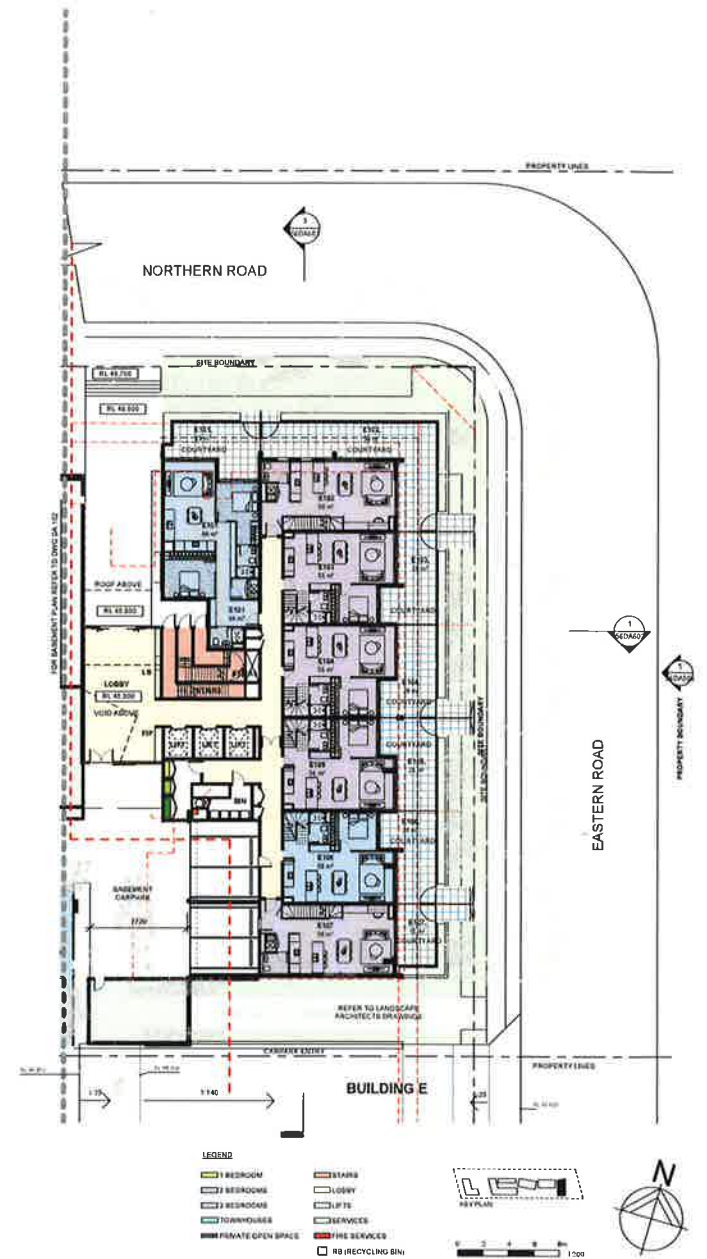
Project
MULTI-RESIDENTIAL DEVELOPMENT
58 CUDGEGONG ROAD, ROUSE HILL
NSW 2156

Title
BUILDING E
BASEMENT 1

Drawing No.
56DA201
Scale
1:200@A1
Project No.
16117

Issue
E
Drawing Size
A1
Drawn by
KB/PH/TB

Revised and Drawings to be a preliminary and not for construction. All dimensions to be reported to the building authorities. This drawing and its contents remain the copyright of WMK Architects Pty Ltd.





- LEGEND**
- 1 BEDROOM
 - 2 BEDROOMS
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 - 5 BEDROOMS
 - 6 BEDROOMS
 - 7 BEDROOMS
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WMA Australia

DEVELOPMENT APPLICATION
FOR CONSTRUCTION

Issue	Description	Date
A	GAZETTE	06.03.17
B	GAZETTE	06.03.17
C	GAZETTE	06.03.17
D	GAZETTE	06.03.17
E	GAZETTE	06.03.17

Issue	Description	Date
A	GAZETTE	06.03.17
B	GAZETTE	06.03.17
C	GAZETTE	06.03.17
D	GAZETTE	06.03.17
E	GAZETTE	06.03.17

Client CDMA AUSTRALIA PTY. LTD.

Project MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title FLOOR PLAN
LEVEL 1
BUILDING C, D
LEVEL 2
BUILDING E

Drawing No 56DA202
Scale 1:200@A1
Project No 16117

Issue E
Drawing Size A1
Drawn By KB/PH/TB

Revised drawings to be provided overwriting. Contractor to refer to all dimensions on site for construction. All dimensions to be reported to the building authority. The drawing is subject to the copyright of the architect.



DEVELOPMENT APPLICATION
ONLY
DO NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
A	SA CCUE	02.03.17				CDMA AUSTRALIA PTY.LTD.
B	CCUE FOR COUNCIL	06.03.17				
C	CCUE FOR INFORMATION	01.12.17				
D	RE-LOD SA CCUE	6.12.17				

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD, ROUSE HILL
NSW 2155

Teil
FLOOR PLAN
LEVEL 2
BUILDING C, D
LEVEL 3
BUILDING E

Drawing
56DA203
Set
1: 200@A1

Project
16117
Drawn
KB/PH/TB

Approved Drawing: This drawing is for information only and should not be used for construction. It is the responsibility of the client to ensure that the drawing is used for the intended purpose. The drawing is not to be used for any other purpose without the written consent of the architect.



LEGEND

1 BEDROOM	STAIRS
2 BEDROOM	LOBBY
3 BEDROOM	LIFT
4 BEDROOM	SERVICE
5 BEDROOM	FIRE SERVICE
PRIVATE OPEN SPACE	AB (RECYCLING BIN)

0 2 4 6 8m

1:200

N

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	ISSUE	02/05/17
B	ISSUE FOR COUNCIL	08/06/17
C	ISSUE FOR INFORMATION	01/07/17
D	ISSUE FOR COUNCIL	01/07/17

Issue	Description	Date
A	ISSUE	02/05/17
B	ISSUE FOR COUNCIL	08/06/17
C	ISSUE FOR INFORMATION	01/07/17
D	ISSUE FOR COUNCIL	01/07/17

Client
CDMA AUSTRALIA PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD, ROUSE HILL,
NSW 2155

Title
FLOOR PLAN
LEVEL 5
BUILDING C, D
LEVEL 6
BUILDING E

Drawing
56DA206
Scale
1:200@A1
Project
16117

Issue
D
Drawing
A1
Drawn
KB/PH/TB

Dimensioned drawings to all a precedence over all other drawings. Contractor to verify all dimensions on site before construction. If discrepancies are to be reported to the Architect immediately. The drawing and its contents remain the property of the Architect.





LEGEND

1 BEDROOM	STAIRS
2 BEDROOMS	DRY
3 BEDROOMS	OFFICE
TOWNHOUSE	SERVICES
PRIVATE OPEN SPACE	WMS SERVICES
	W3 (RECYCLING BIN)

0 2 4 6 8m 1:200

KEY PLAN

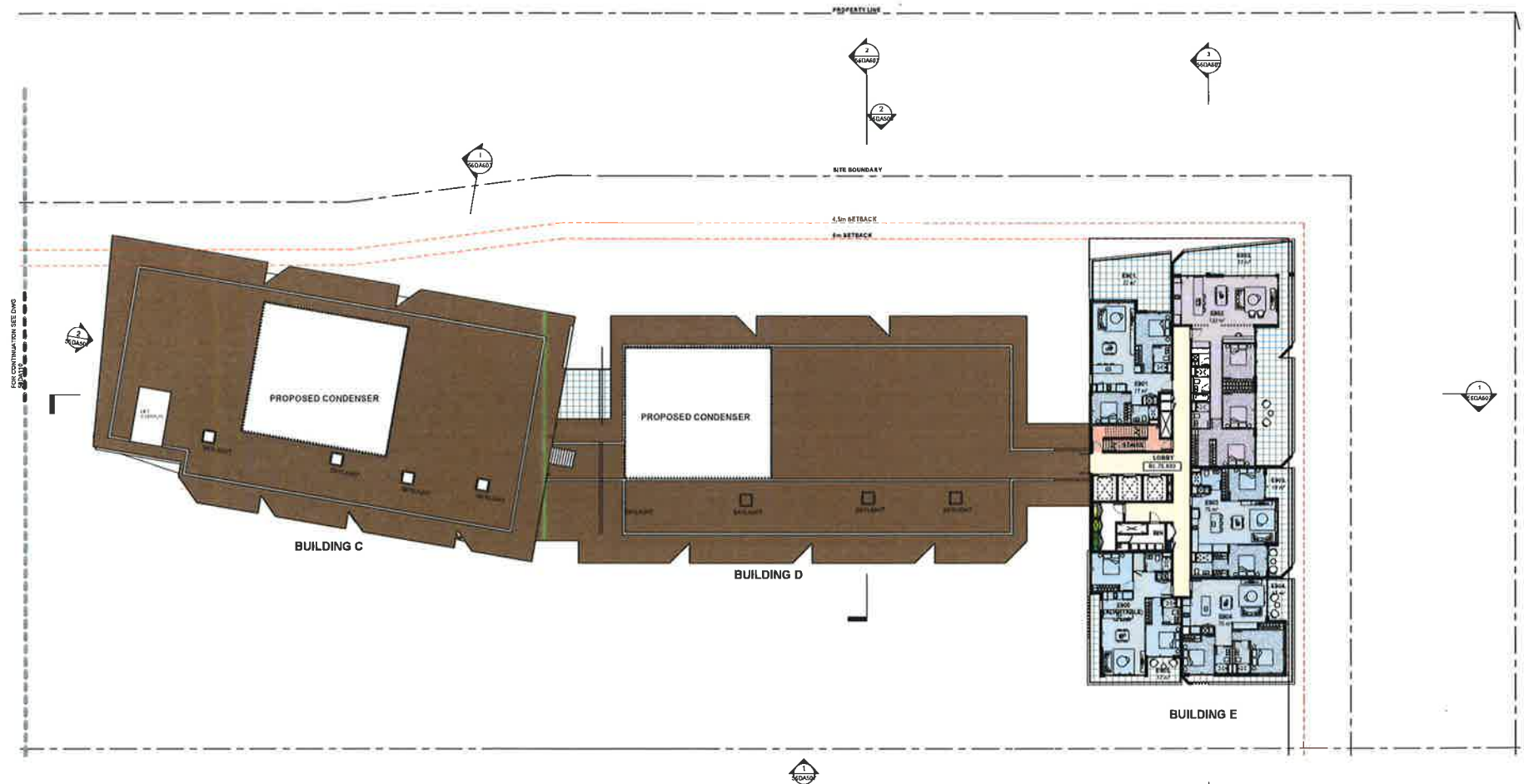
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Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing	Issue
A	SA/CCM	01/03/17				CDMA AUSTRALIA PTY.LTD.	MULTI-RESIDENTIAL DEVELOPMENT 56 CUDGEGONG ROAD, ROUSE HILL NSW 2155	FLOOR PLAN LEVEL 7 BUILDING C, D LEVEL 8 BUILDING E	56DA208	D
B	CCM FOR COUNCIL	08/04/17							1: 200@A1	A1
C	CCM FOR COUNCIL	01/05/17							Project 16117	Drawn KB/PH/TB
D	CCM FOR COUNCIL	08/05/17							CAD	



DEVELOPMENT APPLICATION
CNS
FOR CONSTRUCTION

Dimensions shown to 1mm precision unless stated. Contractor to verify all dimensions on site before construction. All measurements to be reported to the Council's satisfaction. The drawing is intended to be used as a guide only and not for construction.



LEGEND

1 BEDROOM	STAIRS
2 BEDROOMS	LOBBY
3 BEDROOMS	UP TO
4 BEDROOMS	SERVICES
5 BEDROOMS	FIRE SERVICES
PRIVATE OPEN SPACE	WATER RECYCLING RM

0 2 4 6 8 1000

REF PLAN

N



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	DA ISSUE	02/03/20			
B	CDM FOR COUNCIL	08/08/20			
C	CDM FOR INFORMATION	01/01/21			
D	REF 1000 DA ISSUE	06/01/21			

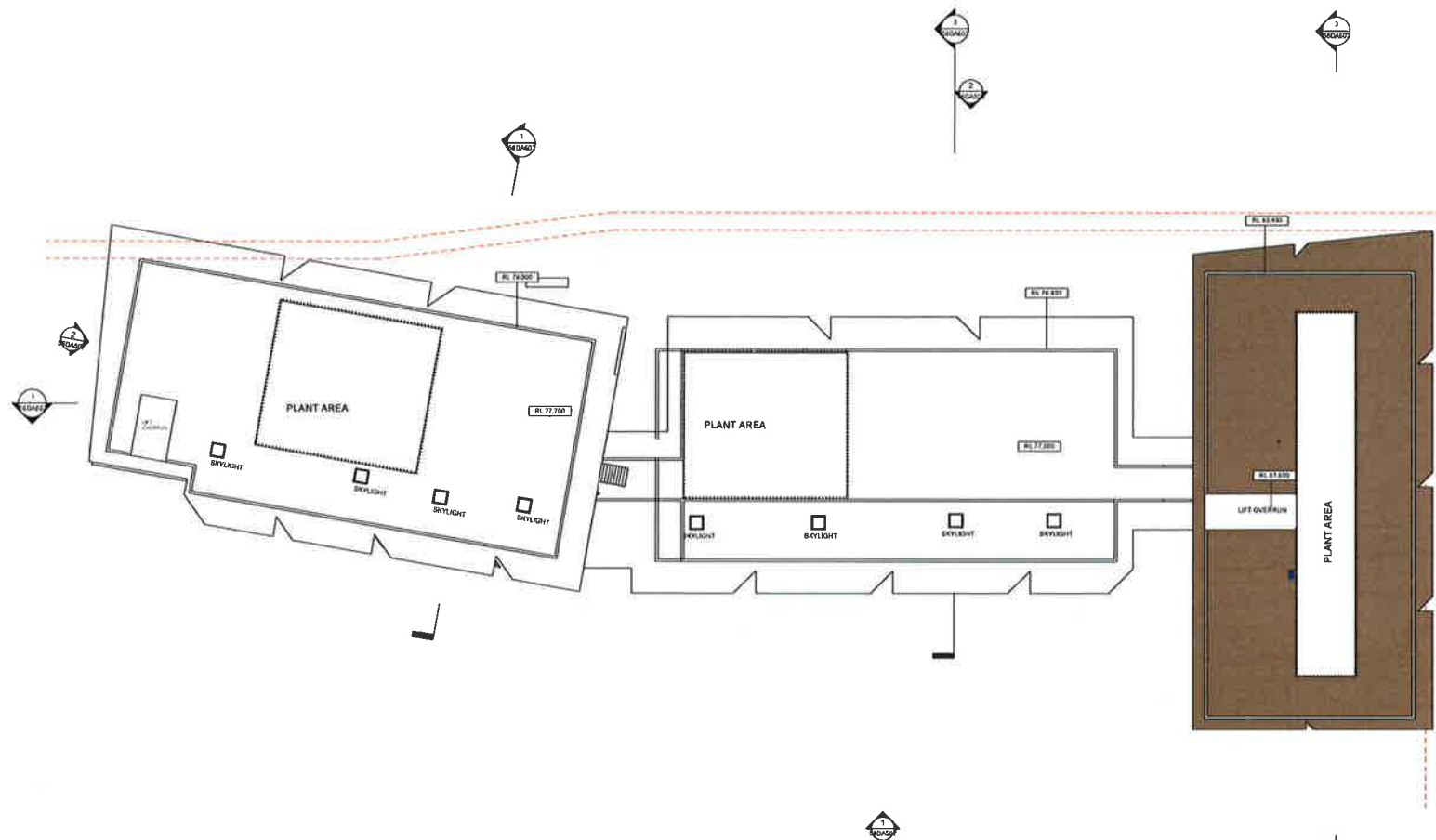
Client: CDMA AUSTRALIA PTY.LTD.

Project: MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD, ROUSE HILL
NSW 2155

TRI FLOOR PLAN
LEVEL 9
BUILDING E

Drawing: 56DA210	Issue: D
Scale: 1:200@A1	Drawing: A1
Project: 16117	Drawn: KB/PH/TB

Dimensioned drawings to be provided to contractor for use as a guide only. All dimensions are to be reported to the Architect immediately. This drawing and its contents remain the property of WMK.



LEGEND	
ROOM 1 BEDROOM	ROOM 2 BEDROOM
ROOM 3 BEDROOM	ROOM 4 BEDROOM
ROOM 5 BEDROOM	ROOM 6 BEDROOM
ROOM 7 BEDROOM	ROOM 8 BEDROOM
ROOM 9 BEDROOM	ROOM 10 BEDROOM
ROOM 11 BEDROOM	ROOM 12 BEDROOM
ROOM 13 BEDROOM	ROOM 14 BEDROOM
ROOM 15 BEDROOM	ROOM 16 BEDROOM
ROOM 17 BEDROOM	ROOM 18 BEDROOM
ROOM 19 BEDROOM	ROOM 20 BEDROOM
ROOM 21 BEDROOM	ROOM 22 BEDROOM
ROOM 23 BEDROOM	ROOM 24 BEDROOM
ROOM 25 BEDROOM	ROOM 26 BEDROOM
ROOM 27 BEDROOM	ROOM 28 BEDROOM
ROOM 29 BEDROOM	ROOM 30 BEDROOM
ROOM 31 BEDROOM	ROOM 32 BEDROOM
ROOM 33 BEDROOM	ROOM 34 BEDROOM
ROOM 35 BEDROOM	ROOM 36 BEDROOM
ROOM 37 BEDROOM	ROOM 38 BEDROOM
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ROOM 41 BEDROOM	ROOM 42 BEDROOM
ROOM 43 BEDROOM	ROOM 44 BEDROOM
ROOM 45 BEDROOM	ROOM 46 BEDROOM
ROOM 47 BEDROOM	ROOM 48 BEDROOM
ROOM 49 BEDROOM	ROOM 50 BEDROOM
ROOM 51 BEDROOM	ROOM 52 BEDROOM
ROOM 53 BEDROOM	ROOM 54 BEDROOM
ROOM 55 BEDROOM	ROOM 56 BEDROOM
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ROOM 93 BEDROOM	ROOM 94 BEDROOM
ROOM 95 BEDROOM	ROOM 96 BEDROOM
ROOM 97 BEDROOM	ROOM 98 BEDROOM
ROOM 99 BEDROOM	ROOM 100 BEDROOM



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	ISSUE FOR COUNCIL	05/04/17
B	ISSUE FOR INFORMATION	04/04/17
C	ISSUE FOR INFORMATION	03/04/17
D	ISSUE FOR INFORMATION	02/04/17

Client CDMA AUSTRALIA PTY LTD.

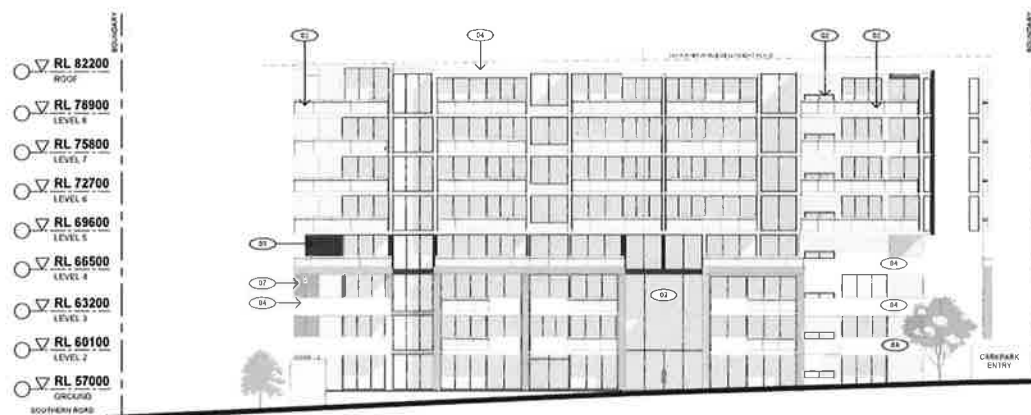
Project MULTI-RESIDENTIAL DEVELOPMENT
58 CUDGONG ROAD, ROUSE HILL
NSW 2155

TN C, D & E ROOF PLAN

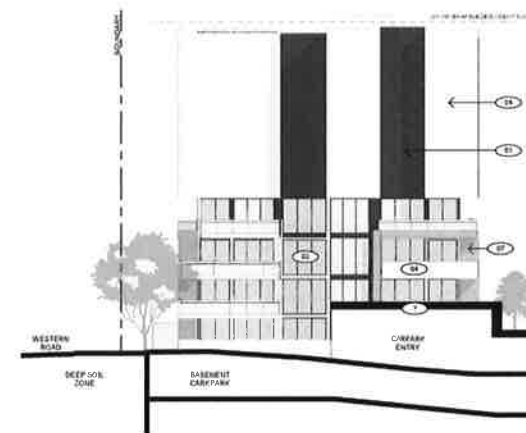
Drawing 56DA211	Issue D
Scale 1: 200@A1	Drawing A1
Project 16117	Drawn

Dimensions (Drawing) to be used as a guide only. Construction to be in accordance with the Australian Standards. This drawing and its contents remain the copyright of WMK Architects Pty Ltd.

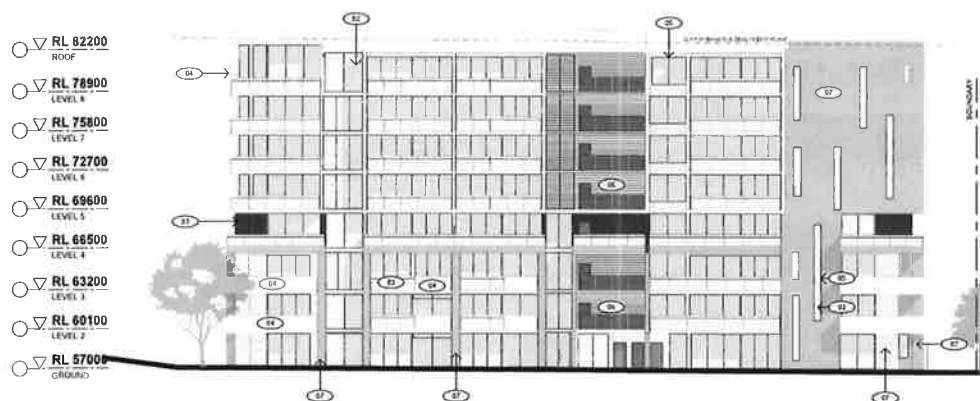
- FINISHES LEGEND**
- (01) EMPEROR GREY FINISHED PRECAST CONCRETE PANELS
 - (02) CLEAR GLASS WINDOWS
 - (03) LOW E CLEAR GLASS WINDOWS
 - (04) WHITE PAINTED PRECAST CONCRETE PANELS
 - (05) BLACK POWDERCOATED ALUMINIUM WINDOW FRAME
 - (06) BRONZE ANODISED ALUMINIUM VERTICALS & SCREENS
 - (07) BRICK FINISHING GREY TONE, SIMILAR TO ROWLAND BLUE



1 EAST ELEVATION
BUILDING A



2 NORTH ELEVATION
BUILDING A



3 WEST ELEVATION
BUILDING A



4 SOUTH ELEVATION
BUILDING A



0 2 4 6 8 10m

NO 26m MAXIMUM HEIGHT PLANE TAKEN ABOVE NATURAL GROUND LINE EXCLUDING EXISTING DAMS ON SITE



DEVELOPMENT APPLICATION
ONLY
FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
1	01-0000	03.03.2017	1	01-0000	03.03.2017	METRO AWARD ROUSE HILL PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGEGONG ROAD
ROUSE HILL NSW 2155

Title
ELEVATIONS
BUILDING A

Drawn By
DB

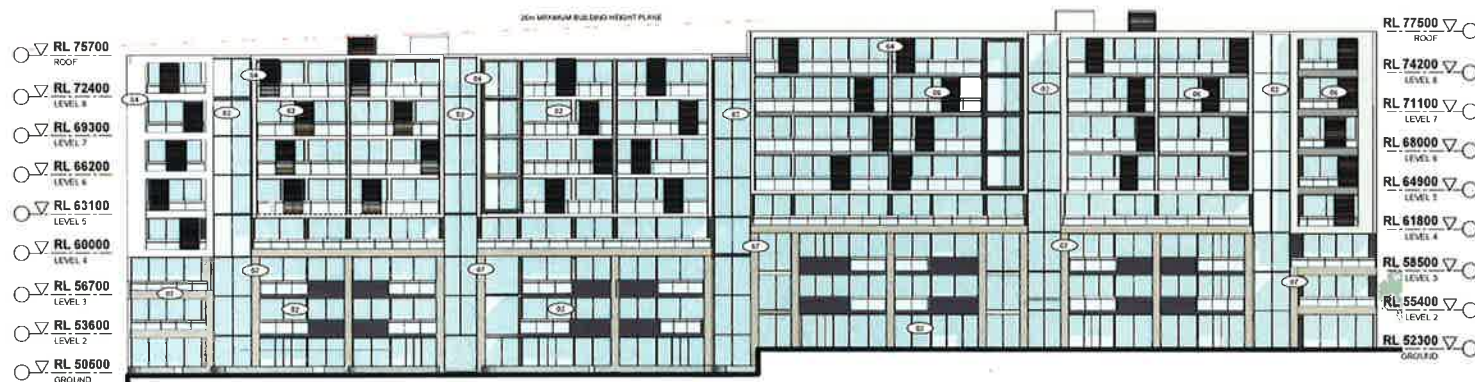
Drawing No.
44DA500
Scale
1:200@A1
Project No.
15136

CAD Reference

Revised Drawings to be provided with issue. Contractor to verify all dimensions on site before commencing work. All dimensions to be reported to the architect immediately. This drawing and its contents remain the copyright of the architect.

- ### CAD Reference

- FINISHES LEGEND**
- (1) CONCRETE GREY PRESSED PRECAST CONCRETE PANELS
 - (2) CLEAR GLASS WINDOWS
 - (3) LOW E CLEAR GLASS WINDOWS
 - (4) WHITE PRESSED PRECAST CONCRETE PANELS
 - (5) BLACK FLUOROCARBON ALUMINIUM WINDOW FRAME
 - (6) BRONZE ANODISED ALUMINIUM VERTICAL SLIDING
 - (7) BRONZE FINISH ALUMINIUM TOE, SIMILAR TO 'SQUARE BLUE'



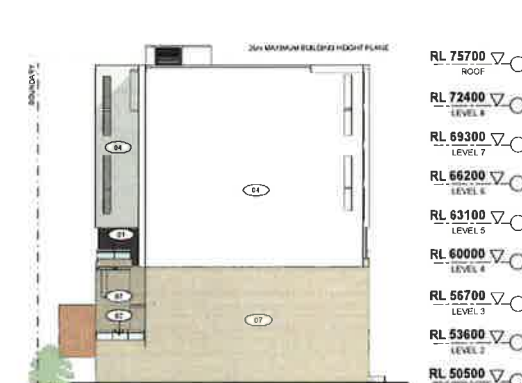
1 NORTH ELEVATION
BUILDING C



3 WEST ELEVATION
BUILDING C



2 SOUTH ELEVATION
BUILDING C



4 EAST ELEVATION
BUILDING C



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
1	SH-CONC	04/03/2017	1	SH-CONC	04/03/2017	METRO AWARD ROUSE HILL PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGEGONG ROAD
ROUSE HILL NSW 2155

Title
ELEVATIONS
BUILDING C

NS 20m MAXIMUM HEIGHT PLANE TAKEN ABOVE NATURAL GROUNDLINE EXCLUDING EXISTING DAMS ON SITE



Drawing No. 44DA502	Issue B
Scale 1:200@A1	Drawing Size A1
Project No. 15136	Drawn By DB

Downloaded drawings to take precedence over existing. Contractor to verify all dimensions on site before construction. All measurements to be reported to the planning department. This drawing is to control the design of the building.

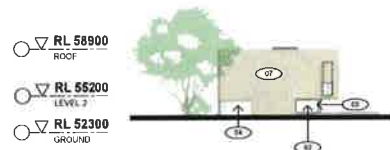
- FINISHES LEGEND**
- (31) EXTERIOR GREY PAINTED PRECAST CONCRETE PANELS
 - (32) CLEAR GLASS WINDOWS
 - (33) LOW E CLEAR GLASS WINDOWS
 - (34) WHITE PAINTED PRECAST CONCRETE PANELS
 - (35) BLACK POWDERCOATED ALUMINIUM WINDOW FRAME
 - (36) BRONZE ANODISED ALUMINIUM VERTICAL SCREENING
 - (37) BRICK FINISH A GREY TONE, SIMILAR TO MURAL BLUE



1 WEST ELEVATION
BUILDING E



3 WEST ELEVATION
BUILDING E FROM COMMUNAL OPEN SPACE



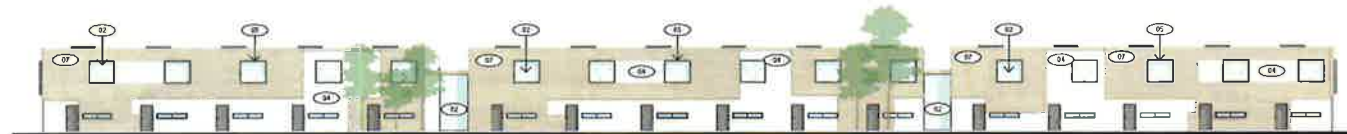
5 EAST ELEVATION
BUILDING E



2 NORTH ELEVATION
BUILDING E



4 NORTH ELEVATION
BUILDING E FROM COMMUNAL OPEN SPACE



6 SOUTH ELEVATION
BUILDING E



0 2 4 6 8m

NB: 20m MAXIMUM HEIGHT PLANE TAKEN ABOVE NATURAL GROUND LINE EXCLUDING EXISTING DAMS ON SITE



DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Issue 1
Description: SH-ROAD RE-DESIGN SCHEME

Date: 03.03.2017
15.11.2017

Issue 1
Description:

Date:

Client: METRO AWARD ROUSE HILL PTY. LTD.

Project: MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGEGONG ROAD
ROUSE HILL NSW 2155

Title: ELEVATIONS
BUILDING E

Drawing No: 44DA504

Scale: 1:200@A1

Project No: 15136

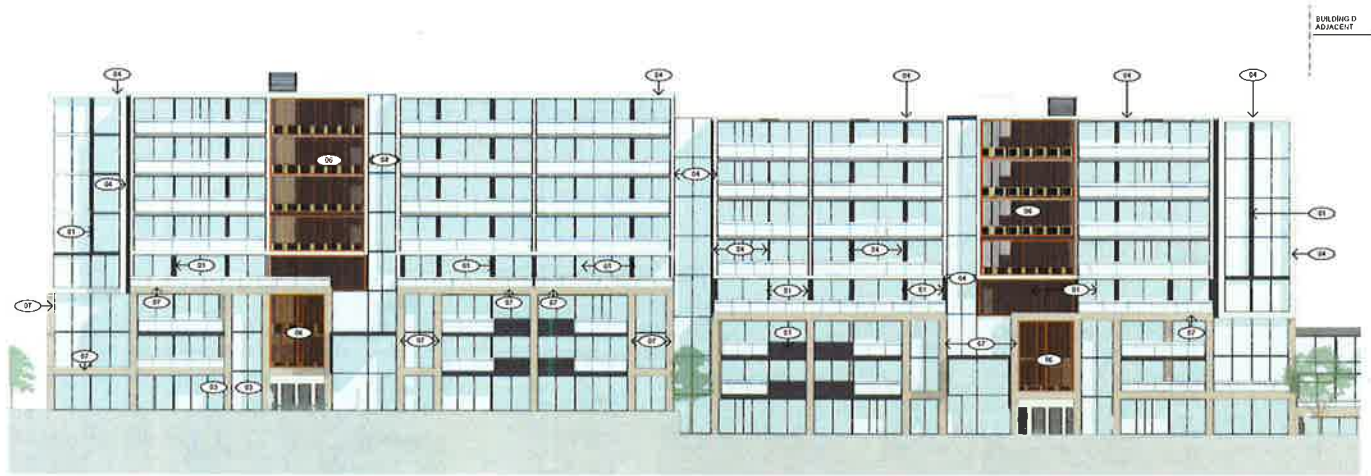
Drawn By: DB

Issue 1

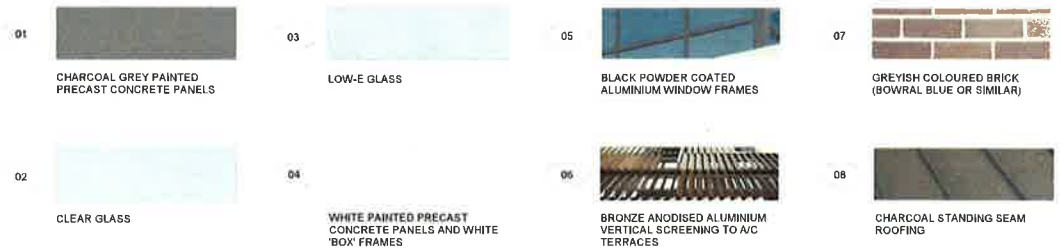
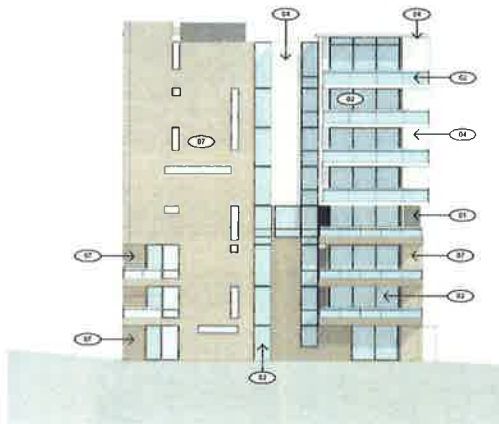
Drawing Size: A1

Drawn By: DB

Disclaimer: Drawings to take precedence over all other documents. Contractor to verify all dimensions on site before construction. All requirements to be reported for the architect's approval. This drawing and its contents remain the copyright of WMK.



1 TYPICAL ELEVATION
BUILDINGS



0 2 4 6 8 10m



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	G. CURR PRELIMINARY	05/05/2017 15/12/2017				METRO AWARD ROUSE HILL PTY. LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44 CUDGEGONG ROAD ROUSE HILL NSW 2155	ELEVATIONS MATERIALS SELECTION	44DA510	B
									Scale As indicated @ A1	Drawing Size A1
									Project No. 15136	Drawn By DB

CAD Reference
All drawings are to be prepared in AutoCAD. Contractor to verify all dimensions and details before construction. To be reported to the architect immediately. This drawing and all other drawings are the property of WMK Architects Pty Ltd.

FINISHES LEGEND

- | | |
|--|---|
| (D1) BRONZE POWDERCOATED METAL CLADDING | (D7) GREY CONCRETE |
| (D2) CLEAR GLASS TO WINDOWS | (D8) LIGHT GREY STANDING SEAM ROOF |
| (D3) LOW E GLASS | (D9) GLAZED BALUSTRADE WITH POWDERCOATED METAL HANDRAIL |
| (D4) CONCRETE WALL | (D10) CONCRETE REGLET WALL |
| (D5) BRONZE POWDERCOATED ALUMINIUM WINDOW FRAMES | (D11) CONCRETE COLUMNS |
| (D6) BRONZE POWDERCOATED METAL LOUVRES | (D12) METAL SHROUD COVER |
| | (D13) BRONZE PAINTED FINISH |



WMS ARCHITECTURE

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	ISSUE	05/05/17			
B	REVISED FOR ISSUE	16/12/17			
C	REVISIONS - ARCHITECT	11/02/18			

Client
CDMA AUSTRALIA PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD ROUSE HILL NSW
2155

Title
ELEVATIONS
BUILDINGS A & B

Drawing No.
56DA503
Scale
1:200@A1
Project No.
16117

Issue
C
Drawing Size
A1
Drawn By
FO

Unapproved Drawings to not be permitted in any way. Contractors to not all drawings on site before construction. All measurements to be reported to the relevant authority. This drawing and its contents remain the intellectual property of WMS ARCHITECTURE.

FINISHES LEGEND

- | | |
|--|---|
| (01) BRONZE POWDERCOATED METAL CLADDING | (07) GREY CONCRETE |
| (02) CLEAR GLASS TO WINDOWS | (08) LIGHT GREY STANDING SEAM ROOF |
| (03) LOW E GLASS | (09) GLAZED BALUSTRADE WITH POWDERCOATED METAL HANDRAIL |
| (04) CONCRETE WALL | (10) CONCRETE REGLET WALL |
| (05) BRONZE POWDERCOATED ALUMINIUM WINDOW FRAMES | (11) CONCRETE COLUMNS |
| (06) BRONZE POWDERCOATED METAL LOUVRES | (12) METAL SHROUD COVER |
| | (13) BRONZE PAINTED FINISH |



1 WEST ELEVATION
BUILDING B
SCALE 1:100



2 EAST ELEVATION
BUILDING B
SCALE 1:100



3 NORTH ELEVATION
BUILDINGS A-B
SCALE 1:100

WMK

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

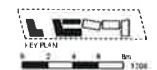
Issue	Description	Date
A	01-10-2017	01-10-17
B	02-10-2017	02-10-17
C	03-10-2017	03-10-17

Issue	Description	Date
A	01-10-2017	01-10-17
B	02-10-2017	02-10-17
C	03-10-2017	03-10-17

Client	CDMA AUSTRALIA PTY.LTD.
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Project	MULTI-RESIDENTIAL DEVELOPMENT 56 CUDGONG ROAD ROUSE HILL NSW 2155
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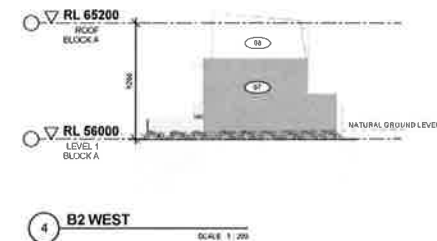
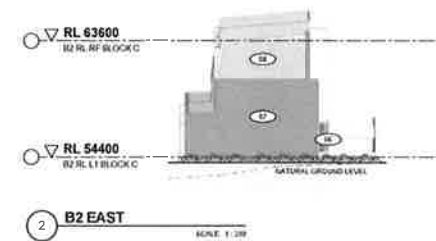
Title	ELEVATIONS BUILDINGS A & B
-------	-------------------------------



Drawing No.	56DA504 <th>Issue</th> <td>C</td>	Issue	C
Scale	1:200@A1 <th>Drawing Size</th> <td>A1</td>	Drawing Size	A1
Project No.	16117 <th>Drawn By</th> <td>CZ</td>	Drawn By	CZ

Environmental Engineering Ltd is a professional engineering firm. It is not a registered company and its services are not regulated by the Engineering Council of Australia. The drawing and its contents are the property of Environmental Engineering Ltd.

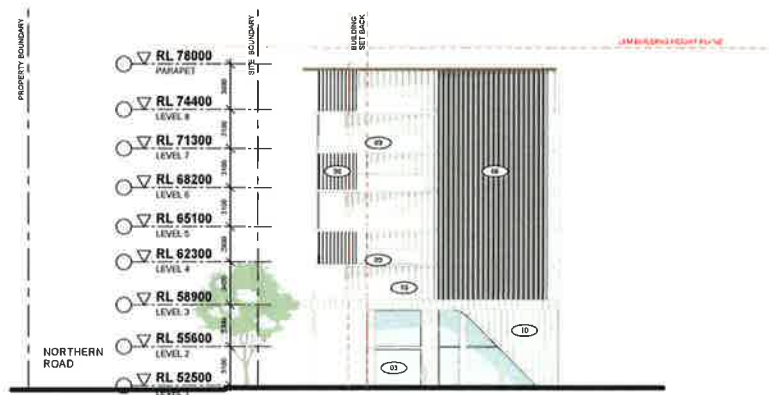
01	BRONZE POWDERCOATED METAL CLADDING	07	GREY CONCRETE
02	CLEAR GLASS TO WINDOWS	08	LIGHT GREY STANDING SEAM ROOF
03	LOW E GLASS	09	GLAZED BALUSTRADE WITH POWDERCOATED METAL HANDRAIL
04	CONCRETE WALL	10	CONCRETE REGLET WALL
05	BRONZE POWDERCOATED ALUMINIUM WINDOW FRAMES	11	CONCRETE COLUMNS
06	BRONZE POWDERCOATED METAL LOUVRES	12	METAL SHROUD COVER
		13	BRONZE PAINTED FINISH



<div>DEVELOPMENT APPLICATION DRAWING NOT FOR CONSTRUCTION</div>	Issue	Description	Date	Issue	Description	Date	Client	Project	Title	<table><tr><td>Drawing No.</td><td>Issue</td></tr><tr><td>66DA505</td><td>B</td></tr><tr><td>Scale</td><td>Drawing Size</td></tr><tr><td>1: 200@A1</td><td>A1</td></tr><tr><td>Project No.</td><td>Drawn By</td></tr><tr><td>16117</td><td>CR</td></tr></table>	Drawing No.	Issue	66DA505	B	Scale	Drawing Size	1: 200@A1	A1	Project No.	Drawn By	16117	CR
	Drawing No.	Issue																				
	66DA505	B																				
	Scale	Drawing Size																				
	1: 200@A1	A1																				
Project No.	Drawn By																					
16117	CR																					
#	#	RE 1055 DA 10306	05.03.17				CDMA AUSTRALIA PTY.LTD.	MULTI-RESIDENTIAL DEVELOPMENT 59 CUDJEGONG ROAD ROUSE HILL NSW 2155	ELEVATIONS BUILDING B2													
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1 SOUTH ELEVATION
BUILDINGS C-D-E SCALE 1:200



2 WEST ELEVATION
BUILDING C SCALE 1:200

FINISHES LEGEND

- | | |
|--|---|
| 01 BRONZE POWDERCOATED METAL CLADDING | 07 GREY CONCRETE |
| 02 CLEAR GLASS TO WINDOWS | 08 LIGHT GREY STANDING SEAM ROOF |
| 03 LOW E GLASS | 09 GLAZED BALUSTRADE WITH POWDERCOATED METAL HANDRAIL |
| 04 CONCRETE WALL | 10 CONCRETE REGLET WALL |
| 05 BRONZE POWDERCOATED ALUMINIUM WINDOW FRAMES | 11 CONCRETE COLUMNS |
| 06 BRONZE POWDERCOATED METAL LOUVRES | 12 METAL SHROUD COVER |
| | 13 BRONZE PAINTED FINISH |



0 2 4 6 8 10m



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
A	ON-FOUR	01.03.17				CDMA AUSTRALIA PTY. LTD.
B	RE-FOUR ON-FOUR	01.03.17				

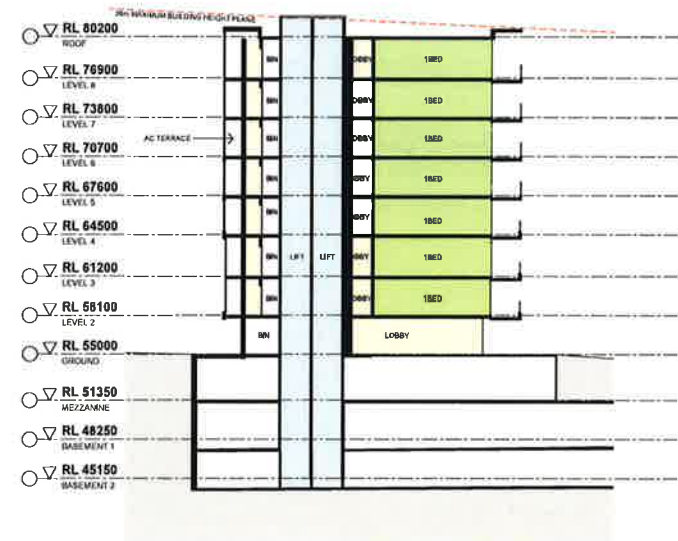
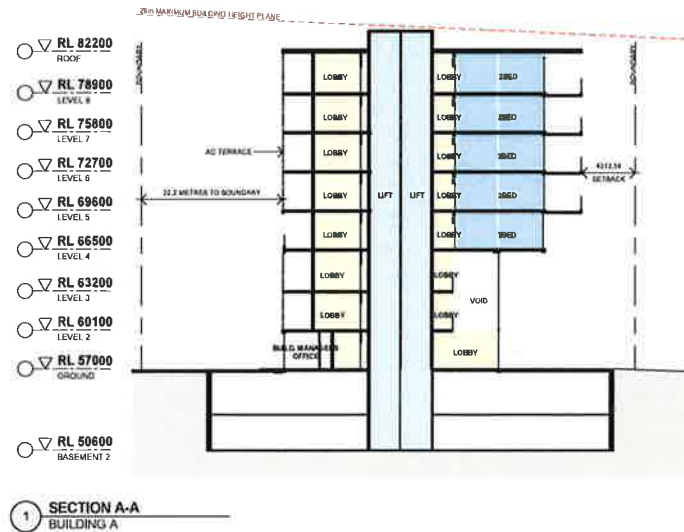
Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title
ELEVATIONS
BUILDINGS C, D & E

Drawing No.
56DA507
Scale
1:200@A1
Project No.
10117
Issue
B
Drawing Size
A1
Drawn By

Disclaimer: Drawings to be provided to a building contractor for use only. All dimensions are to be taken from the drawings. It is the responsibility of the building contractor to ensure that the drawings are used in accordance with the relevant building codes and standards. The drawings are not to be used for any other purpose without the written consent of WAVE Architecture.

- LEGEND**
- 1 BEDROOM UNIT
 - 2 BEDROOM UNIT
 - 3 BEDROOM UNIT
 - BALCONIES
 - 26m MAXIMUM HEIGHT PLANE
 - FIRE STAIRS
 - LIFT
 - CIRCULATION AREA
 - SERVICES AREA



0 2 4 6 8m

NR 26m MAXIMUM HEIGHT PLANE TAKEN ABOVE NATURAL GROUND LINE EXCLUDING EXISTING DAMS ON SITE



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue
Description
G. COURT
REVISED BY COURT

Date
03/03/2017
15/12/2017

Issue
Description

Date

Client
METRO AWARD ROUSE HILL PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGEGONG ROAD
ROUSE HILL NSW 2155

Title
BUILDINGS A & B
SECTION A-A

Drawing No.
44DA600
Scale
1:200@A1
Project No.
15136

Issue
B
Drawing Size
A1
Drawn By
FO

Unapproved Drawings to take precedence over this drawing. Corrections to this drawing are to be made on the drawing itself. This drawing and all associated documents are the property of WMK Architects Pty Ltd.

CAD Reference
44DA600.dwg

- LEGEND**
- 1 BEDROOM UNIT
 - 2 BEDROOM UNIT
 - 3 BEDROOM UNIT
 - BALCONIES
 - 25m MAXIMUM BUILDING HEIGHT PLANE
 - FIRE STAIRS
 - LIFT
 - CIRCULATION AREA
 - SERVICES AREA



SECTION B-B
BUILDING A



2 SECTION C-C
BUILDING B



0 2 4 6 8m
1:200

NB: 25m MAXIMUM HEIGHT PLANE TAKEN ABOVE NATURAL GROUND LINE EXCLUDING EXISTING DAM ON SITE.



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date
A	QUICK	03/03/2021
B	REVISIONS	14/12/2021

Issue	Description	Date
A	QUICK	03/03/2021
B	REVISIONS	14/12/2021

Issue	Description	Date
A	QUICK	03/03/2021
B	REVISIONS	14/12/2021

Client
METRO AWARD ROUSE HILL PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGEGONG ROAD
ROUSE HILL NSW 2155

Title
BUILDINGS A & B
SECTION B-B, SECTION C-C

Drawing No.
44DA601

Scale
1:200@A1

Project No.
15136

CAD Reference

Issue
B

Drawing Size
A1

Drawn By
FO

Dimensional Drawings to take precedence in all cases. Engineer to verify all dimensions on site before construction. All measurements to be reported to the architect immediately. This drawing and its contents remain the copyright of WMK Architects Pty Ltd.

NOT FOR CONSTRUCTION



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description
A	DA ISSUE	28 06 2016		
B	REVISED DA ISSUE	15 07 2017		

Date	Client
	METRO AWARD ROUSE HILL PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGEGONG ROAD
ROUSE HILL NSW 2155

Title
BUILDINGS C & E
SECTION D-D, SECTION E-E

Drawing No. 44DA602	Issue B
Scale 1:200@A1	Drawing Size A1
Project No. 15136	Drawn By FO

CAD Reference
PROJECT: 2017-08-01
DATE: 2017-08-01

- LEGEND**
- 1 BEDROOM UNIT
 - 2 BEDROOM UNIT
 - 3 BEDROOM UNIT
 - BALCONIES
 - FIRE STAIRS
 - LIFT
 - CIRCULATION AREA
 - SERVICES AREA
 - 26m MAXIMUM HEIGHT PLANE



0 2 4 6 8m
1:200

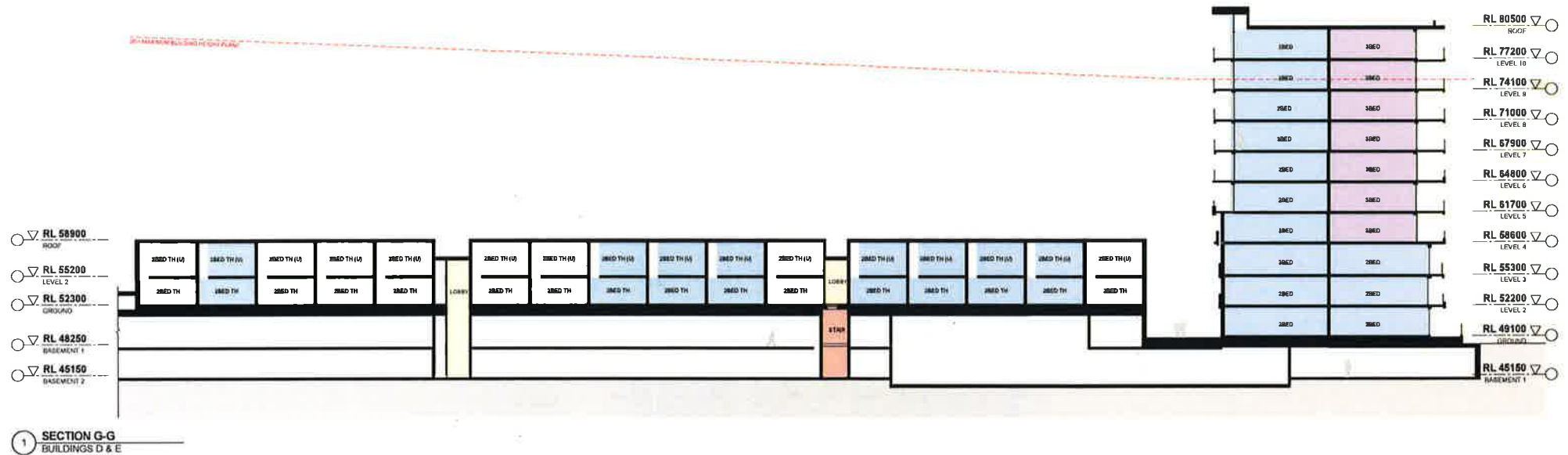
26m MAXIMUM HEIGHT PLANE TAKEN ABOVE NATURAL GROUND LINE EXCLUDING EXISTING DAMS ON SITE

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	On-Going	03/03/2021	2	PERIODIC QA/QC	18/12/2021	METRO AWARD ROUSE HILL PTY. LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44 CUDGEGONG ROAD ROUSE HILL NSW 2155	BUILDING D SECTION F-F	44DA603	B
									Scale 1:200@A1	Drawing Size A1
									Project No. 15136	Drawn By FO
									CAD Reference	

Structural drawings to be provided as per building. Contractor to verify all dimensions on site before construction. No responsibility to be reported to the architect. The drawing and its contents remain the copyright of the Architect and the Client.



- LEGEND**
- 1 BEDROOM UNIT
 - 2 BEDROOM UNIT
 - 3 BEDROOM UNIT
 - BALCONIES
 - 28m MAXIMUM HEIGHT PLANE
 - FIRE STAIRS
 - LIFT
 - CIRCULATION AREA
 - SERVICES AREA



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	Rev 01: Initial	02/03/2017	2	Rev 02: Final	14/03/2017	METRO AWARD ROUSE HILL PTY. LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44 CUDGEGONG ROAD ROUSE HILL NSW 2155	BUILDINGS C & D SECTION G-G	44DA604	B
									Scale 1:200@A1	Drawing Size A1
									Project No. 15136	Drawn By FO
									CAD Reference	

Drawings are to be used as a guide only. Contractors to verify all dimensions and levels before construction. No responsibility is accepted for any errors or omissions. This drawing and its contents remain the copyright of the client.

- LEGEND**
- 1 BEDROOM UNIT
 - 2 BEDROOM UNIT
 - 3 BEDROOM UNIT
 - BALCONIES
 - FIRE STAIRS
 - LIFT
 - CIRCULATION AREA
 - SERVICES AREA
 - 26m MAXIMUM HEIGHT PLANE



1 SECTION H-H
BUILDINGS C & D



0 2 4 6 8m

NR 26m MAXIMUM HEIGHT PLANE TAKEN ABOVE NATURAL GROUND LINE EXCLUDING EXISTING OAKS ON SITE



DEVELOPMENT APPLICATION ONLY
NOT FOR CONSTRUCTION

Issue Description
A G- CODE
B REF: CDD GA CODE

Date
03/03/2017
10:12:00

Issue Description

Date

Client
METRO AWARD ROUSE HILL PTY. LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44 CUDGEGONG ROAD
ROUSE HILL NSW 2155

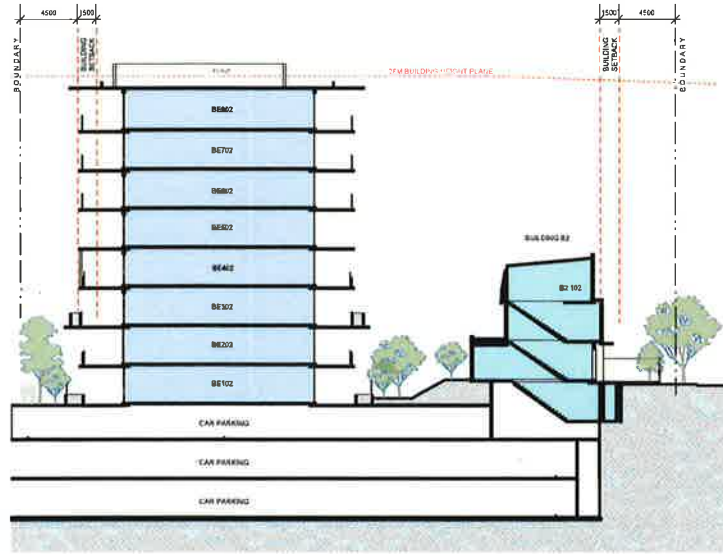
Title
BUILDINGS D & E
SECTION H-H

Drawing No.
44DA605
Scale
1:200@A1
Project No.
15136

Issue
B
Drawing Size
A1
Drawn By
FO

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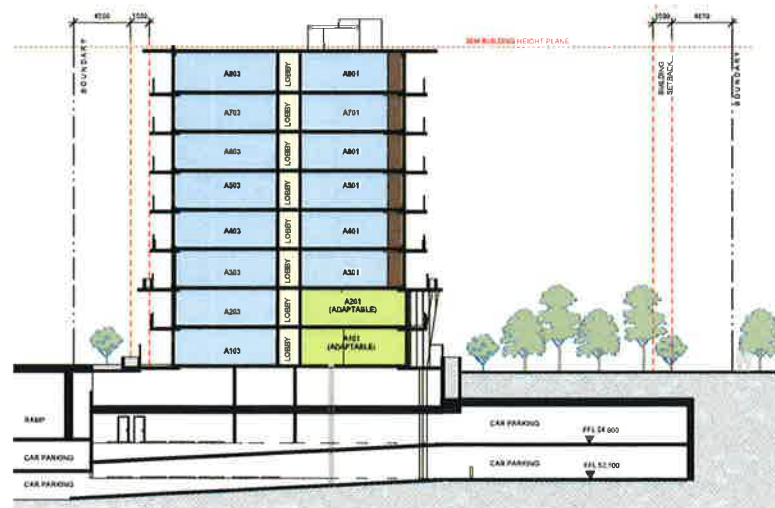
- ▽ RL 79500
PARAMET
- ▽ RL 75900
LEVEL 8
- ▽ RL 72800
LEVEL 7
- ▽ RL 69700
LEVEL 6
- ▽ RL 66600
LEVEL 5
- ▽ RL 63500
LEVEL 4
- ▽ RL 60400
LEVEL 3
- ▽ RL 57300
LEVEL 2
- ▽ RL 54200
LEVEL 1



- ▽ RL 56000
LEVEL 1
BLOCK A
- ▽ RL 51350
B MEZZANINE RL
- ▽ RL 48250
BASEMENT 1
- ▽ RL 45150
BASEMENT 2

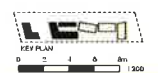
2 SECTION B
BUILDING B
SCALE 1:200

- ▽ RL 85400
PARAMET
- ▽ RL 82800
LEVEL 9
- ▽ RL 79700
LEVEL 8
- ▽ RL 76600
LEVEL 7
- ▽ RL 73500
LEVEL 6
- ▽ RL 70400
LEVEL 5
- ▽ RL 67300
LEVEL 4
- ▽ RL 64200
LEVEL 3
- ▽ RL 61100
LEVEL 2
- ▽ RL 58000
LEVEL 1
- ▽ RL 53400
BASEMENT 1 CORNER
- ▽ RL 50600
BASEMENT 2



1 SECTION A
BUILDING A
SCALE 1:200

- LEGEND
- FAP FIRE ALARM CONTROL PANEL
 - LB LETTER BOX
 - 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - TOWNHOUSE
 - PRIVATE OPEN SPACE
 - STAIRS
 - LOBBY
 - CLIP TO
 - SERVICES
 - FIRE SERVICES



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	IN ISSUE	02.03.17	B	REVISED ON CODE	16.12.17

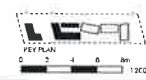
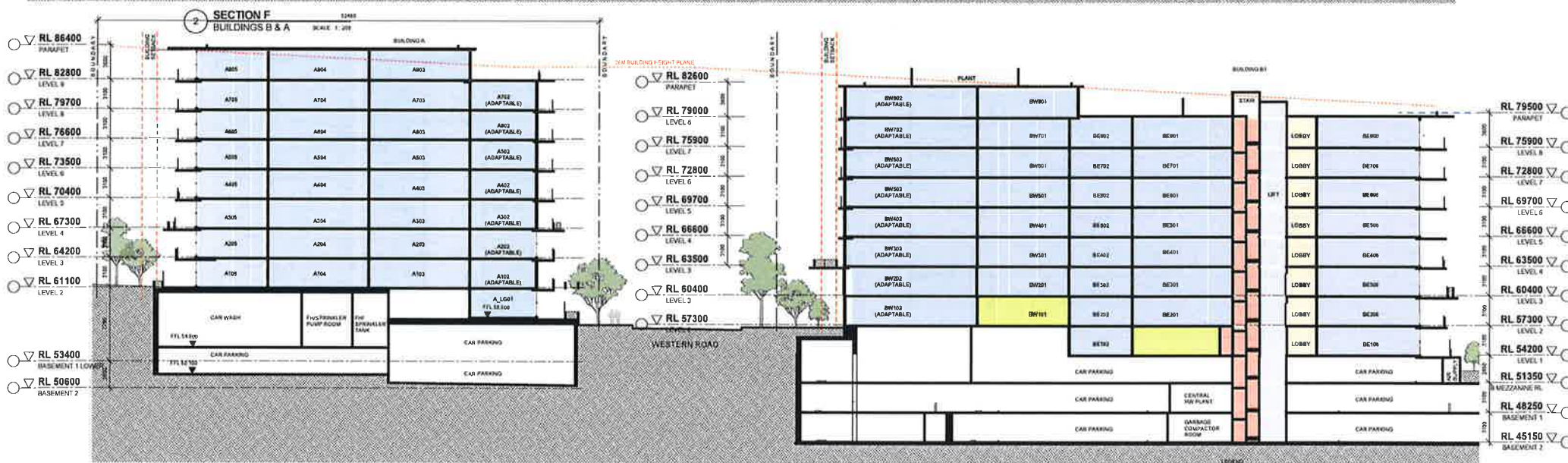
Client
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
58 CUDDEGONG ROAD ROUSE HILL NSW
2155

Title
SECTIONS
SHEET 1

Drawing No. 56DA600	Issue B
Scale 1:200@A1	Drawing Size A1
Project No. 16117	Drawn By FO

Dimensioned Drawings to indicate proposed construction. Contractor to verify all dimensions on site before construction. If discrepancies to be reported to the Planning Department. The drawing and its content to remain the copyright of WMK Australia Pty Ltd.



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1 SECTION E
BUILDINGS C, D & E SCALE 1:200



WMK Australia Pty Ltd

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client
A	REVISED	06/03/17	B	REVISED	06/03/17	CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
56 CUDGONG ROAD, ROUSE HILL
NSW 2155

Title
SECTIONS
SHEET 3

Drawing No
56DA602
Scale
1:200@A1
Project No.
16117
Issue
B
Drawing Size
A1
Drawn By
FO

- LEGEND
- 1 BEDROOM
 - 2 BEDROOM
 - 3 BEDROOM
 - TOWNHOUSE
 - PRIVATE OFFICE SPACE
 - STAIRS
 - LOBBY
 - ENTRANCE
 - SERVICE
 - PAVE SERVICES
 - RECYCLING BIN



0 3 6 9m

Dimensions shown to the nearest 100mm. Contractor to verify all dimensions on site before construction. All measurements to be reported to the relevant authorities. This drawing and its contents remain the property of WMK Australia Pty Ltd.



1 PLAN SOLAR STUDY - 9AM
JUNE 21ST
SCALE: 1:1000



2 PLAN SOLAR STUDY - 10AM
JUNE 21ST
SCALE: 1:1000



3 PLAN SOLAR STUDY - 11AM
JUNE 21ST
SCALE: 1:1000



4 PLAN SOLAR STUDY - 12PM
JUNE 21ST
SCALE: 1:1000

LEGEND
 SUN TO COMMUNAL OPEN SPACE
 SUN TO COMMUNAL OPEN SPACE FOR 2 HOURS FROM 9AM-3PM ON 21ST JUNE



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	SK GC&E	05.04.17			
B	COVE PCP COUNCIL	08.09.17			
C	REV GC&E	01.12.17			

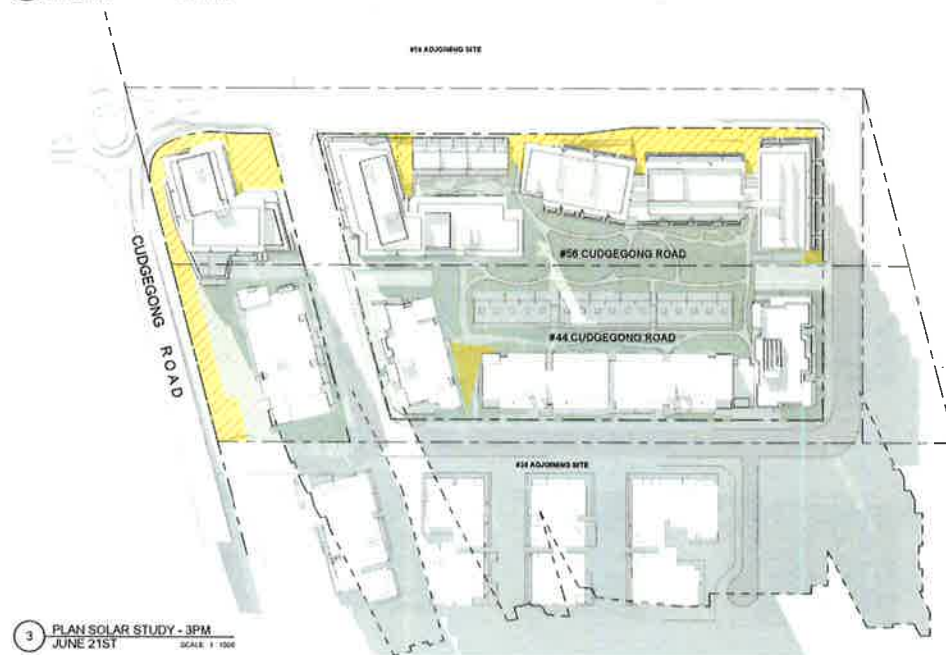
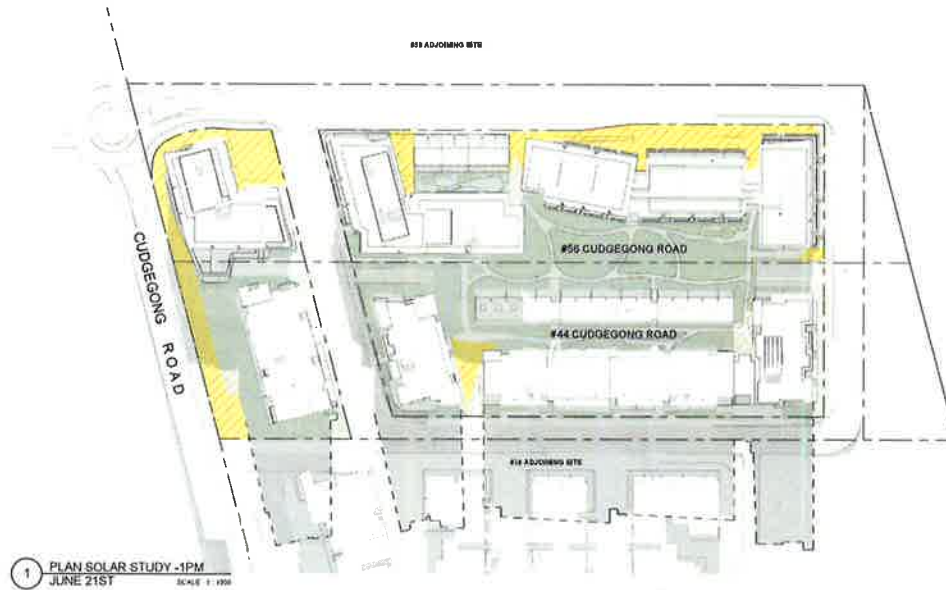
Client:
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY.LTD.

Project:
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL,
NSW 2155

Title:
SHADOW DIAGRAMS

Drawing No. DA730	Issue C
Scale 1:1000@A1	Drawing Size A1
Project No. 16117	Drawn By PH

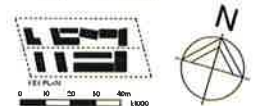
Dimensions shown to be precedence over text. Contractor to verify all dimensions on site before construction. All measurements to be reported to the relevant authorities. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd.



SUNLIGHT TO COMMUNAL OPEN SPACE	
TOTAL SITE AREA	27520 m ²
MIN REQUIRED COMMUNAL OPEN SPACE (15%)	4,128 m ²
AREA OF COMMUNAL OPEN SPACE REQUIRED TO ACHIEVE 2 HOURS OF SUNLIGHT BETWEEN 9AM-3PM ON 21ST JUNE (50%)	2064 m ²
AREA OF COMMUNAL OPEN SPACE ACHIEVING 2 HOURS OF SUNLIGHT BETWEEN 9AM-3PM ON 21ST JUNE (50%)	2750 m ²

LEGEND

- SUN TO COMMUNAL OPEN SPACE
- SUN TO COMMUNAL OPEN SPACE FOR 2 HOURS FROM 9AM-3PM ON 21ST JUNE



DEVELOPMENT APPLICATION
DAYS
TWO YEAR CONSTRUCTION

ISSUE	DESCRIPTION	DATE	ISSUE	DESCRIPTION	DATE
A	DA ISSUE	02.06.17			
B	ISSUE FOR CONDUITS	06.08.17			
C	RE: CDD DA ISSUE	16.12.17			

Client METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY.LTD.
Project MULTI-RESIDENTIAL DEVELOPMENT 44-56 CUDGONG ROAD, ROUSE HILL NSW 2155

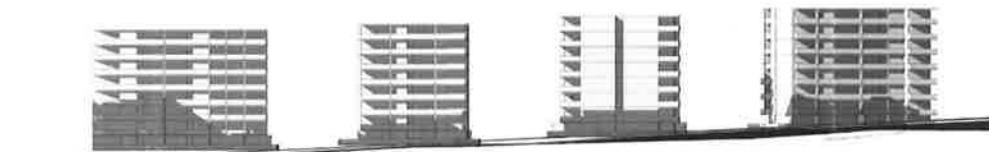
Title SHADOW DIAGRAMS

Drawing No. DA731
Scale 1:1000@A1
Project No 16117
Issue C
Drawing Size A1
Drawn By PH/TB

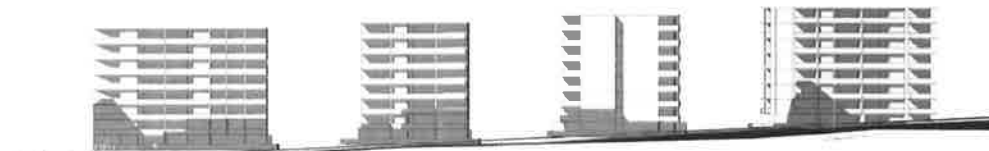
Consentment drawings to be provided to the relevant authority for approval. All dimensions are to be provided to the relevant authority. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd.



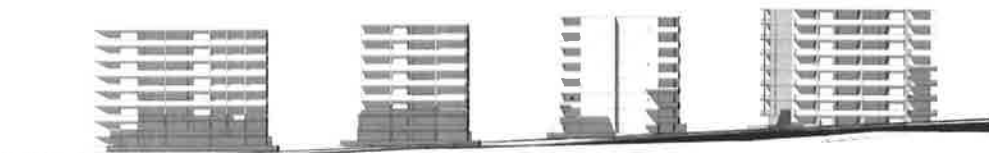
1 NEIGHBOURING ELEVATION SHADOW STUDY 9 AM



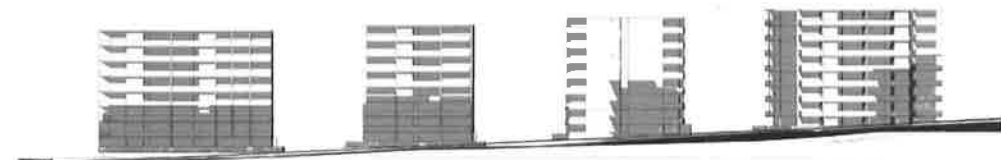
2 NEIGHBOURING ELEVATION SHADOW STUDY 10 AM



3 NEIGHBOURING ELEVATION SHADOW STUDY 11 AM



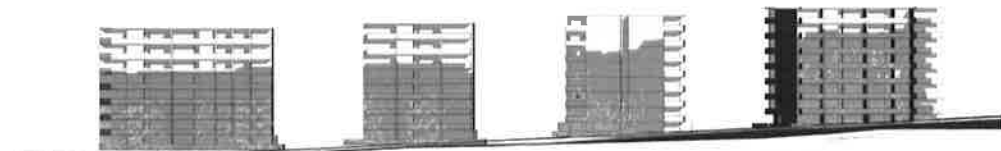
4 NEIGHBOURING ELEVATION SHADOW STUDY 12 PM



5 NEIGHBOURING ELEVATION SHADOW STUDY 1 PM



6 NEIGHBOURING ELEVATION SHADOW STUDY 2 PM



7 NEIGHBOURING ELEVATION SHADOW STUDY 3 PM



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	ISSUE FOR APPROVAL	09.09.17			
B	REVISED ISSUE	10.10.17			

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY.LTD.

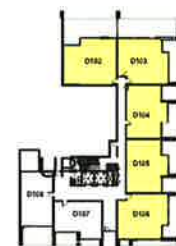
Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title
SHADOW DIAGRAMS - 38
CUDGEGONG ELEVATIONS -
JUNE 21ST

Drawing No. DA740	Issue B
Scale @A1	Drawing Size A1
Project No. 16117	Drawn By TB

Downloaded Drawings to be a reference only. Not to be used for any other purpose without the written permission of the author. This drawing and its contents remain the property of the author.

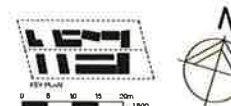
SOLAR ACCESS:
22nd JUNE - 2h



SOLAR ACCESS - 44	
Comments	Count
44 BLUE CHNG A	43
44 BLUE CHNG B	44
44 BLUE CHNG C	45
44 BLUE CHNG C-9	47
44 BLUE CHNG D	51
44 BLUE CHNG E	22

Community	Count
Bulk, Group A	41
Bulk, Group B	7
Bulk, Group C	24
Bulk, Group D	24
Bulk, Group E	43
Bulk, Group F	43
Bulk, Group G	62

68	248	7
74	252	8
77.500	77.500	9



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No	Issue
A	DA ISSUE	00-00-00	B	REFUSED DA ISSUE	16-12-17	METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY.LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44-56 CUDGONG ROAD, ROUSE HILL NSW 2155	SOLAR ANALYSIS LEVEL B1	DA941	B
									Scale 1:500@A1	Drawing Size A1
									Project No 16117	Drawn By KB

Unauthorized Drawing is late procedure & over scaling. Contacted to verify all drawings on site before construction. If nonconformance is to be reported to the Authority immediately. This drawing will be updated to reflect the supply of work submitted to the Authority.

LEGEND

SOLAR ACCESS:
22 JUNE - 2h



SOLAR ACCESS - 44	
44 BUILDING A	44
44 BUILDING B	44
44 BUILDING C	44
44 BUILDING D	44
44 BUILDING E	44
44 BUILDING F	44
44 BUILDING G	44
44 BUILDING H	44
44 BUILDING I	44
44 BUILDING J	44
44 BUILDING K	44
44 BUILDING L	44
44 BUILDING M	44
44 BUILDING N	44
44 BUILDING O	44
44 BUILDING P	44
44 BUILDING Q	44
44 BUILDING R	44
44 BUILDING S	44
44 BUILDING T	44
44 BUILDING U	44
44 BUILDING V	44
44 BUILDING W	44
44 BUILDING X	44
44 BUILDING Y	44
44 BUILDING Z	44
TOTAL	44

SOLAR ACCESS - 55	
55 BUILDING A	55
55 BUILDING B	55
55 BUILDING C	55
55 BUILDING D	55
55 BUILDING E	55
55 BUILDING F	55
55 BUILDING G	55
55 BUILDING H	55
55 BUILDING I	55
55 BUILDING J	55
55 BUILDING K	55
55 BUILDING L	55
55 BUILDING M	55
55 BUILDING N	55
55 BUILDING O	55
55 BUILDING P	55
55 BUILDING Q	55
55 BUILDING R	55
55 BUILDING S	55
55 BUILDING T	55
55 BUILDING U	55
55 BUILDING V	55
55 BUILDING W	55
55 BUILDING X	55
55 BUILDING Y	55
55 BUILDING Z	55
TOTAL	55

44	55	TOTAL
44	55	99
TOTAL	99	99



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue Description
A 01-05-2024
NO-1050-DK-COOR

Date Issue Description
01-05-24 16:01:11

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title
SOLAR ANALYSIS
LEVEL 1

Drawing No.
DA942
Scale
1:500@A1
Project No.
16117

Issue
B
Drawing Size
A1
Drawn By
KB

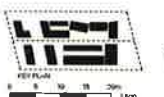
Dimensional Drawings to be used for construction purposes only. All dimensions on the drawings are to be used for construction purposes only. The drawing and its contents remain the copyright of W&M. All rights reserved.

SOLAR ACCESS:
22^h JUNE - 2h



SOLAR ACCESS - 94	
C	C
SUB-DIST A	43
SUB-DIST B	5
SUB-DIST C	14
SUB-DIST D	14
SUB-DIST E	43
SUB-DIST F	43
SUB-DIST G	43
TOTAL	132

44	248	72.6
54	252	82.6
TOTAL	500	72.6



WMK

DEVELOPMENT APPLICATION
ONLY
TEST FOR CONSTRUCTION

Issue	Description
A	CA 1000E
B	RE-1000 CA 1000E

Date	Issue	Description
02.05.17		
15.12.17		

Date _____

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44-66 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

SOLAR ANALYSIS LEVEL 2

Drawing No.
DA943

Scale
1:500@A1

110

Drawing Size
1

Drawn By
B

Demanded Drawings to be provided in a set of 3 copies. Contractor to be only at drawings on site before construction. All nonconformance to be reported to the Architect immediately. This drawing and its contents remain the copyright of S&B Building, Inc. (S&B-BI).

SOLAR ACCESS:
22nd JUNE - 2h



SOLAR ACCESS - 96	
C	C
SOL-DWV-8	43
SOL-DWV-9	7
SOL-DWV-10	16
SOL-DWV-11	34
SOL-DWV-12	43
SOL-DWV-13	42
SOL-DWV-14	47
TOTAL	212

68	245	72A
54	252	43M
2027A	508	70B



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

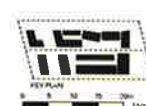
Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A 0	GR CDGUE MFC CDGUE GR CDGUE	22/03/97 06/07/97				METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY.LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44-56 CUDGONG ROAD, ROUSE HILL NSW 2155	SOLAR ANALYSIS LEVEL 3	DA944	B
									Scale 1: 500@A1	Drawing Size A1
									Project No. 16117	Drawn By KB
								CAD Reference <small>Downloaded Drawings to full a preliminary or working. Contractors to verify all dimensions are before proceeding. Dimensions are to be rounded up to the nearest millimetre. This drawing and its contents remain the copyright of L&L Architecture Pty Ltd.</small>		

SOLAR ACCESS:
22^h JUNE - 2h



SOLAR ACCESS - BE	
C	C
Busk Church A	71
Busk Church B	7
Busk Church BE	14
Busk Church BW	14
Busk Church C	43
Busk Church D	43
Busk Church E	47
Subtotal	149

44	248	7
16	212	6
10185	100	2



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	DA 12345	02/03/17				METRO AWARD ROUSE HILL PTY LTD &	MULTI-RESIDENTIAL DEVELOPMENT	SOLAR ANALYSIS	DA945	B
B	REV 12345 DA 12345	16/11/17				CDMA AUSTRALIA PTY LTD.	44-56 CUDGEGONG ROAD, ROUSE HILL NSW 2155	LEVEL 4	Scale 1:500@A1	Drawing Size A1
									Project No. 16117	Drawn By KB

Unmeasured (things) to take precedence over rating. Contrary to – only all dimensions in the table (construction) – 10 existences to be reported to the Affiliates immediately. The sharing and its contents remain the copyright of our 10 publications (1–10).

SOLAR ACCESS:
22^h JUNE - 2h



SOLAR ACCESS - ME		
C		C
Build Outfit A	45	
Build Outfit B	7	
Build Outfit C	158	
Build Outfit D	158	
Build Outfit E	45	
Build Outfit F	42	
Build Outfit G	47	
TOTAL	212	

48	285	729
54	257	839
TOTAL	902	2266



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	OK ISSUE	03/09/17			
B	RE-OKED OK ISSUE	16/12/17			

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

SOLAR ANALYSIS LEVEL 5

Drawing No.
DA946

Scale
1:500@A1

Project No.
16117

Issue	B
Drawing Size	A1
Drawn By	KB

Unintentional Drawings: In the event of an unintentional drawing, the contractor is not to be held responsible for any delay or damage to the project. The contractor is to be held responsible for any delay or damage to the project.

SOLAR ACCESS:
22 h JUNE - 2h



SOLAR ACCESS - IN	
C	C
SOL.ORG A	43
SOL.ORG B3	7
SOL.ORG EE	18
SOL.ORG BW	18
SOL.ORG C	43
SOL.ORG D	42
SOL.ORG E	17

66	288	72
14	153	43
TOTAL	101	26

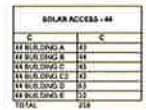
WMK with experience

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
1	DA ISSUE	02.03.17				METRO AWARD ROUSE HILL PTY LTD &	MULTI-RESIDENTIAL DEVELOPMENT	SOLAR ANALYSIS	DA947	B
2	REF 10322 (DA ISSUE)	16.12.17				CDMA AUSTRALIA PTY LTD.	44-56 CUDGEGONG ROAD, ROUSE HILL NSW 2155	LEVEL 6	Scale 1: 500@A1	Drawing Size A1
									Project No. 16117	Drawn By KB

CAD Reference

SOLAR ACCESS:
22nd JUNE - 2h



SOLAR ACCESS - IN	
C	C
SOL. OFFIC A	43
SOL. OFFIC B3	7
SOL. OFFIC B6	14
SOL. OFFIC B4W	14
SOL. OFFIC C	43
SOL. OFFIC D	42
SOL. OFFIC E	47
TOTAL	150

88	188	724
94	177	896
101.84	900	704



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	On 12/23/11	10/23/11			
B	10/23/11 On 12/23/11	10/23/11			

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title
SOLAR ANALYSIS
LEVEL 7

Drawing No.	Issue
DA948	B
Scale	Drawing Size
1: 500@A1	A1
Project No.	Drawn By
16117	KB

Dimensions shown to be provided on scaling. Contractors will all dimensions in the table construction. It is recommended to be reported to the Architect immediately. The drawing and its contents remain the copyright of your contractor (21-134-9).

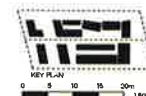
SOLAR ACCESS:
22^h JUNE - 2h



SOLAR ACCESS - 44	
C	C
44 BUILDING A	42
44 BUILDING B	44
44 BUILDING C	43
44 BUILDING D	41
44 BUILDING E	43
44 BUILDING F	42
TOTAL	255

SOLAR ACCESS - 34	
C	C
SULCRNG A	43
SULCRNG B3	7
SULCRNG BE	16
SULCRNG BAY	14
SULCRNG C	43
SULCRNG D	62
SULCRNG E	47
TOTAL	212

48	148	7
56	172	6
TOTAL	300	9



Drawing No. DA949	Issue B
Scale 1:500@A1	Drawing Size A1
Project No. 16117	Drawn By KB

Discontinued Drawing is held in precedence over existing. Contractors to verify all dimensions on site before construction. All requirements to be reported to the architect immediately. This drawing and its contents remain the copyright of L&K Associates P.C. 100-00.

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project
A	SA CC3/E	00/03/97				METRO AWARD ROUSE HILL PTY LTD	MULTI-RESIDENTIAL DEVELOPMENT
B	RD-CC3/SA CC3/E	18/12/97				CDMA AUSTRALIA PTY.LTD.	44-66 CUDGEGONG ROAD, ROUSE HILL NSW 2155

Title
SOLAR ANALYSIS
LEVEL 8

Drawing No.
DA949

Scale
1:500 @ A1

Issue	B
Drawing Size	A1
Drawn By	KB

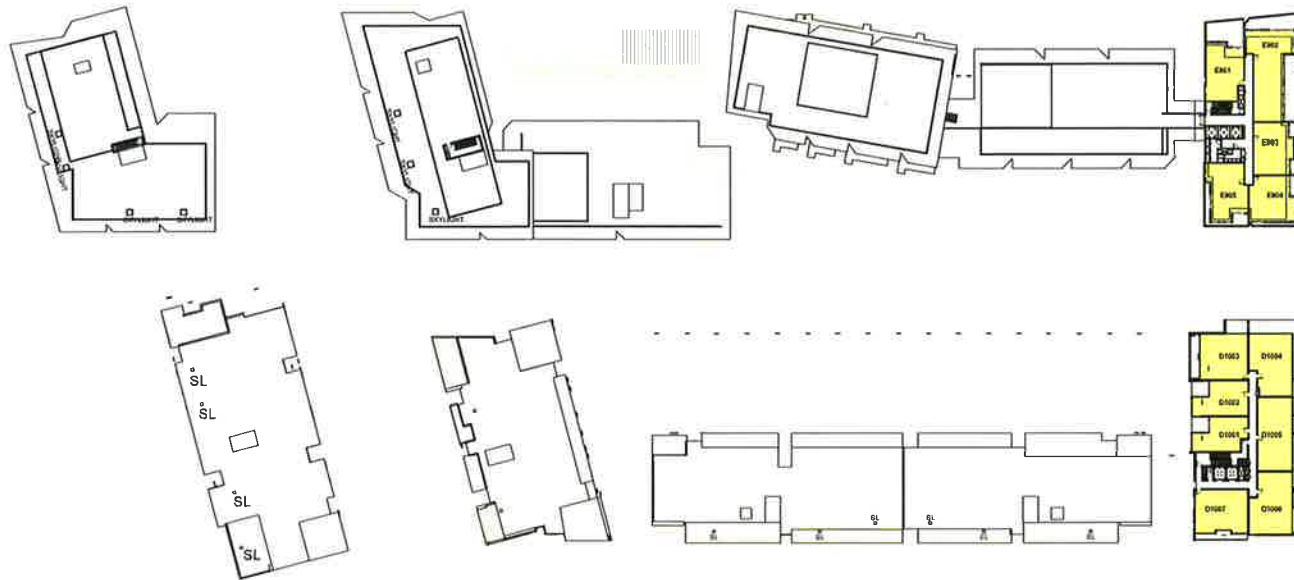
CAD Reference



WMK

LEGEND

SOLAR ACCESS:
22 JUNE - 2h



SOLAR ACCESS - M	
C	E
M BUILDING A	13
M BUILDING B	14
M BUILDING C	15
M BUILDING D	16
M BUILDING E	17
M BUILDING F	18
TOTAL	93

SOLAR ACCESS - M	
C	E
M BUILDING A	13
M BUILDING B	14
M BUILDING C	15
M BUILDING D	16
M BUILDING E	17
M BUILDING F	18
TOTAL	93

M	E	TOTAL
1346	729	
273	898	
1059	1627	



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	1st ISSUE	02/04/20			
B	2nd ISSUE	05/05/20			

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY.LTD.

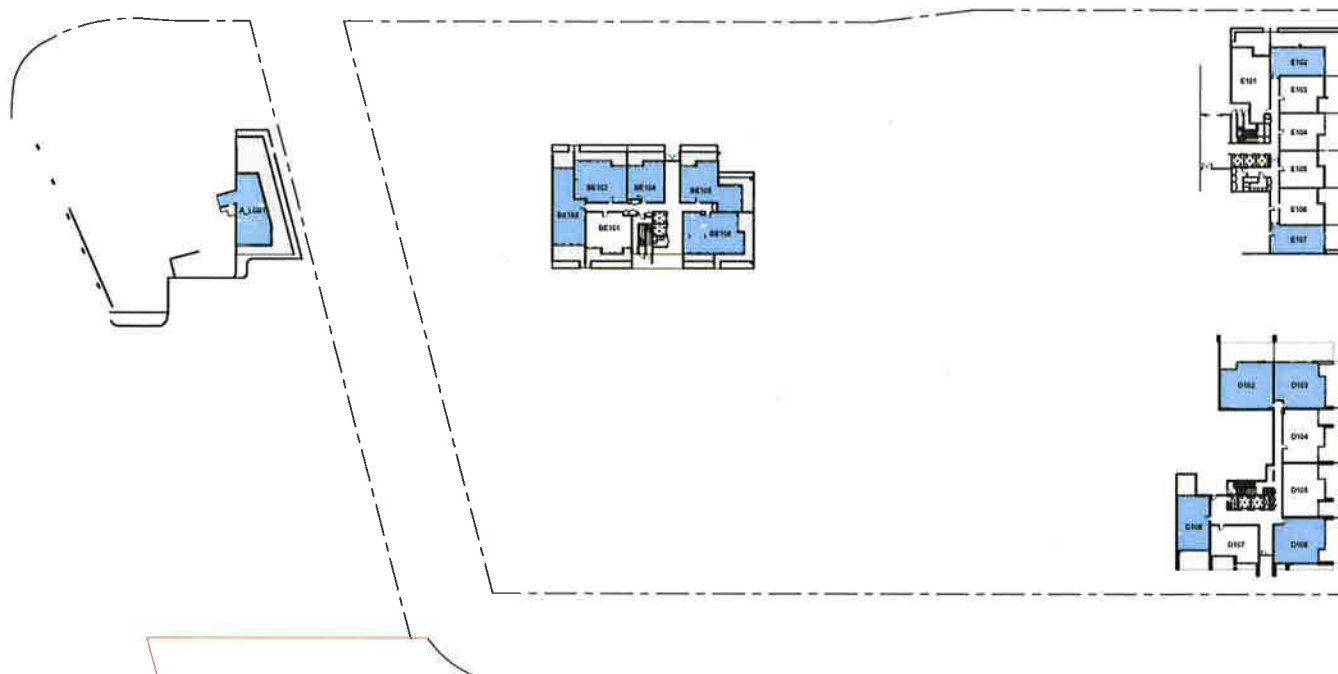
Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGONG ROAD, ROUSE HILL
NSW 2156

Title
SOLAR ANALYSIS
LEVEL B

Drawing No.	Issue
DA950	B
Scale	Drawing Size
1: 500@A1	A1
Project No.	Drawn By
16117	KB

Consent drawings to be a precise and clear. Consistent to all dimensions on the surface construction. If any dimensions are to be reported to the authorities, the drawing will be consistent with the original drawing.

CROSS VENTILATION



CROSS VENTILATION - 44	
Comments	Count
44 BUILDING A	50
44 BUILDING B	14
44 BUILDING C	21
44 BUILDING D	22
44 BUILDING E	17
TOTAL	229

Comments	Count
RUE DING A	59
RUE DING B7	7
RUE DING BE	42
RUE DING BN	65
RUE DING C	37
RUE DING D	26
RUE DING E	43
TOTAL	281

48	206	5
16	246	7
TOTAL	402	12



WMK

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	DA ISSUE	01/03/17				METRO AWARD ROUSE HILL PTY LTD &	MULTI-RESIDENTIAL DEVELOPMENT	CROSS VENTILATION	DA961	B
B	RE-ISSUE DA ISSUE	16/12/17				CDMA AUSTRALIA PTY LTD.	44-56 CUDGONG ROAD, ROUSE HILL NSW 2155	ANALYSIS 44 BUILDING D - LEVEL 1 56 BUILDING A, BE, E - LEVEL 1	Scale 1: 500@A1	Drawing Size A1
									Project No. 16117	Drawn By TB/PH

Dimensions Drawings to help provide a true making. Contractor to verify all dimensions on the before construction. If a discrepancy is to be reported to the Architect immediately. This drawing and its contents remain the copyright of CH2M Hill. © 2007 CH2M Hill.

CROSS VENTILATION



E	E
EXH. QNG A	15
EXH. QNG B	7
EXH. QNG C	47
EXH. QNG D	61
EXH. QNG E	37
EXH. QNG F	38
EXH. QNG G	63
TOTAL	261

88	100%	37
50	100%	72
TOTAL	412	64



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	DA ISSUE	02.03.17			
B	REMOVED DA ISSUE	15.12.17			

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY LTD.

Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title
CROSS VENTILATION
ANALYSIS
LEVEL 1
44 BUILDING D_L2
56 BUILDING BE, E_L2

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Drawing No. DA962	Issue B
Scale 1: 500@A1	Drawing Size A1
Project No. 16117	Drawn By TB/PH

CROSS VENTILATION



C	C
44 Bldg DWG A	18
44 Bldg DWG B	44
44 Bldg DWG C	23
44 Bldg DWG C2	23
44 Bldg DWG D	57
44 Bldg DWG E	12
TOTAL 228	228

C	C
Pure DMG A	18
Pure DMG B	7
Pure DMG ES	42
Pure DMG Edy	11
Pure DMG C	17
Pure DMG D	18
Pure DMG E	23
TOTAL	213

40	320	3.7%
30	204	2.0%
TOTAL	812	68.0



WMK

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	On CD	2024/11/15				METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44-66 CUDGEGONG ROAD, ROUSE HILL NSW 2155	CROSS VENTILATION ANALYSIS LEVEL 2	DA963	B
B	Re: 1000 SH 6006	2024/11/15						44 BUILDING D_L3 66 BUILDING E_L3	Scale 1: 500@A1	Drawing Size A1
									Project No. 16117	Drawn By TB/PH

Encompassed drawings to take precedence over listing. Contractor to verify all dimensions on site before construction. All encroachments to be reported to the District immediately. This drawing and its contents remain the copyright of L&L Construction, LLC 11/18/18.

CROSS VENTILATION



CROSS VENTILATION - M	
C	C
BUILDING A	18
BUILDING B	1
BUILDING C	0
BUILDING D	0
BUILDING E	18
TOTAL	37

44	208	1.5
46	244	7.0
Total	852	8.5

 WMK 6578 Architecture

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	SA-IG006	10.03.17				METRO AWARD ROUSE HILL PTY LTD	MULTI-RESIDENTIAL DEVELOPMENT	CROSS VENTILATION ANALYSIS	DA864	B
B	ME-IG005 SA-IG006	10.03.17				CDMA AUSTRALIA PTY LTD.	44-66 CUDGONG ROAD, ROUSE HILL NSW 2155	LEVEL 3 44 BUILDING D_L4 56 BUILDING E_L4	Scale 1: 500@A1	Drawing Size A1
									Project No. 16117	Drawn By TB/PH
								Structural Drawings to take precedence over existing. Contractor to verify dimensions on site before construction. All measurements to be reported to Architects immediately. This drawing and all contents remain the copyright of and are confidential to the client.	CAD Reference	

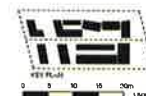
CROSS VENTILATION



€	€
44 BUILDING A	50
44 BUILDING B	44
44 BUILDING C	23
44 BUILDING D	23
44 BUILDING E	57
44 BUILDING F	55
TOTAL 718	252

C	E
Auto DNG A	58
Auto DNG B3	7
Auto DNG B5	42
Auto DNG B20	45
Auto DNG C	27
Auto DNG D	28
Auto DNG E	43
TOTAL	202

48	356	5
36	248	7
TOTAL	472	6



Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	DA CC24	02.05.17				METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44-56 CUDGEGONG ROAD, ROUSE HILL NSW 2155	CROSS VENTILATION ANALYSIS LEVEL 4 44 BUILDING D_L5 56 BUILDING E_L5	DA965	B
B	RP CC24 DA CC24E	16.01.17							Scale 1: 500@A1	Drawing Size A1
									Project No. 16117	Drawn By TB/PH

 CROSS VENTILATION

C	C
BUILDING A	18
BUILDING B	7
BUILDING E	43
BUILDING W	65
BUILDING C	19
BUILDING D	18
BUILDING E	43
TOTAL	211

48	208	274
54	218	294
70746	453	664



DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION

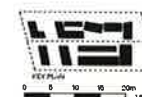
Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A	RE: 1000 GH-0000	01.03.17				METRO AWARD ROUSE HILL PTY LTD &	MULTI-RESIDENTIAL DEVELOPMENT	CROSS VENTILATION	DA966	B
B	RE: 1000 GH-0000	01.03.17				CDMA AUSTRALIA PTY LTD.	44-58 CUDGONG ROAD, ROUSE HILL NSW 2155	ANALYSIS LEVEL 5 44 BUILDING D_L8 56 BUILDING E_L8	Scale 1:500@A1	Drawing Size A1
									Project No. 16117	Drawn By TB/PH
								Unmodified Drawing to take precedence over existing. Contractor to confirm dimensions and details to customer. All dimensions to be reported to include imprecision. This drawing and all contents remain the copyright of L&L Architects Pty Ltd.	CAD Reference PROJECT: 16117, 1000 GH-0000, 01.03.17, 16117-0000-0000	

CROSS VENTILATION



C	C
BUFF BRIND A	18
BUFF BRIND B	7
BUFF BRIND S	43
BUFF BRIND W	43
BUFF BRIND C	17
BUFF BRIND Q	18
BUFF BRIND E	43
TOTAL	206

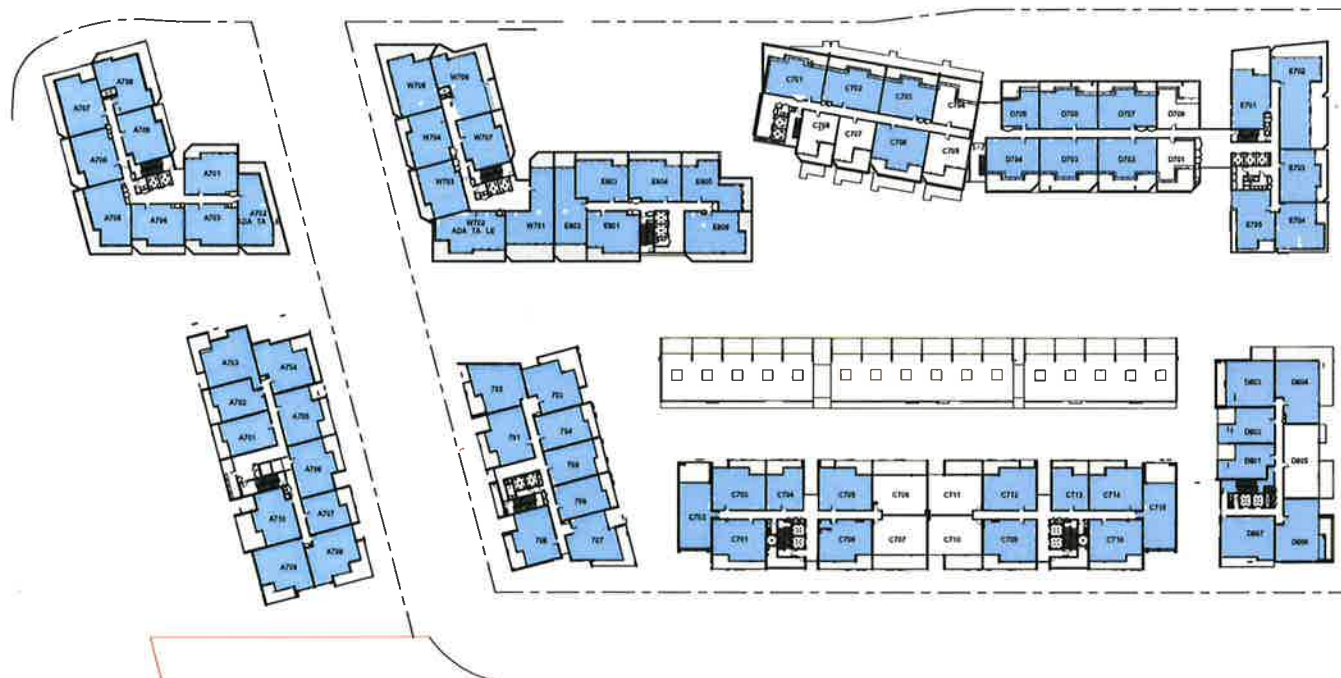
44	206	57
56	299	70
TOTAL	412	127



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DEVELOPMENT APPLICATION
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Issue	Description	Date	Issue	Description	Date	Client	Project	Title	Drawing No.	Issue
A B	S4S ISSUE METRO AWARD S4S ISSUE	02.03.17 16.10.17				METRO AWARD ROUSE HILL PTY LTD & CDMA AUSTRALIA PTY. LTD.	MULTI-RESIDENTIAL DEVELOPMENT 44-56 CUDJEGONG ROAD, ROUSE HILL. NSW 2155	CROSS VENTILATION ANALYSIS LEVEL 6 44 BUILDING D_L7 56 BUILDING E_L7	DAS967 Scale 1: 500@A1 Project No. 16117	B Drawing Size A1 Drawn By TB/PH
								Generational Exchange To take pre-existence as it relating Contracted for, until all generation are used before development. All generations to be represented by the architect immediately. This drawing will be the contract between the exchange's full set of generations and the client.	CAD Reference C:\Users\joe\Desktop\Projects\16117\16117_01.dwg	



CROSS VENTILATION - 44

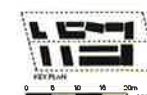
C	E
44 BUILDING A	102
44 BUILDING B	102
44 BUILDING C	102
44 BUILDING D	102
44 BUILDING E	102
44 BUILDING F	102
44 BUILDING G	102
44 BUILDING H	102
44 BUILDING I	102
44 BUILDING J	102
44 BUILDING K	102
44 BUILDING L	102
44 BUILDING M	102
44 BUILDING N	102
44 BUILDING O	102
44 BUILDING P	102
44 BUILDING Q	102
44 BUILDING R	102
44 BUILDING S	102
44 BUILDING T	102
44 BUILDING U	102
44 BUILDING V	102
44 BUILDING W	102
44 BUILDING X	102
44 BUILDING Y	102
44 BUILDING Z	102
TOTAL	228

CROSS VENTILATION - 54

C	E
54 BUILDING A	102
54 BUILDING B	102
54 BUILDING C	102
54 BUILDING D	102
54 BUILDING E	102
54 BUILDING F	102
54 BUILDING G	102
54 BUILDING H	102
54 BUILDING I	102
54 BUILDING J	102
54 BUILDING K	102
54 BUILDING L	102
54 BUILDING M	102
54 BUILDING N	102
54 BUILDING O	102
54 BUILDING P	102
54 BUILDING Q	102
54 BUILDING R	102
54 BUILDING S	102
54 BUILDING T	102
54 BUILDING U	102
54 BUILDING V	102
54 BUILDING W	102
54 BUILDING X	102
54 BUILDING Y	102
54 BUILDING Z	102
TOTAL	228

CROSS VENTILATION - 64

C	E
64 BUILDING A	102
64 BUILDING B	102
64 BUILDING C	102
64 BUILDING D	102
64 BUILDING E	102
64 BUILDING F	102
64 BUILDING G	102
64 BUILDING H	102
64 BUILDING I	102
64 BUILDING J	102
64 BUILDING K	102
64 BUILDING L	102
64 BUILDING M	102
64 BUILDING N	102
64 BUILDING O	102
64 BUILDING P	102
64 BUILDING Q	102
64 BUILDING R	102
64 BUILDING S	102
64 BUILDING T	102
64 BUILDING U	102
64 BUILDING V	102
64 BUILDING W	102
64 BUILDING X	102
64 BUILDING Y	102
64 BUILDING Z	102
TOTAL	228



DEVELOPMENT APPLICATION
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Issue	Description	Date	Issue	Description	Date
1	ISSUED FOR ISSUE	05/05/17			
2	REVISED FOR ISSUE	05/05/17			

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY LTD.

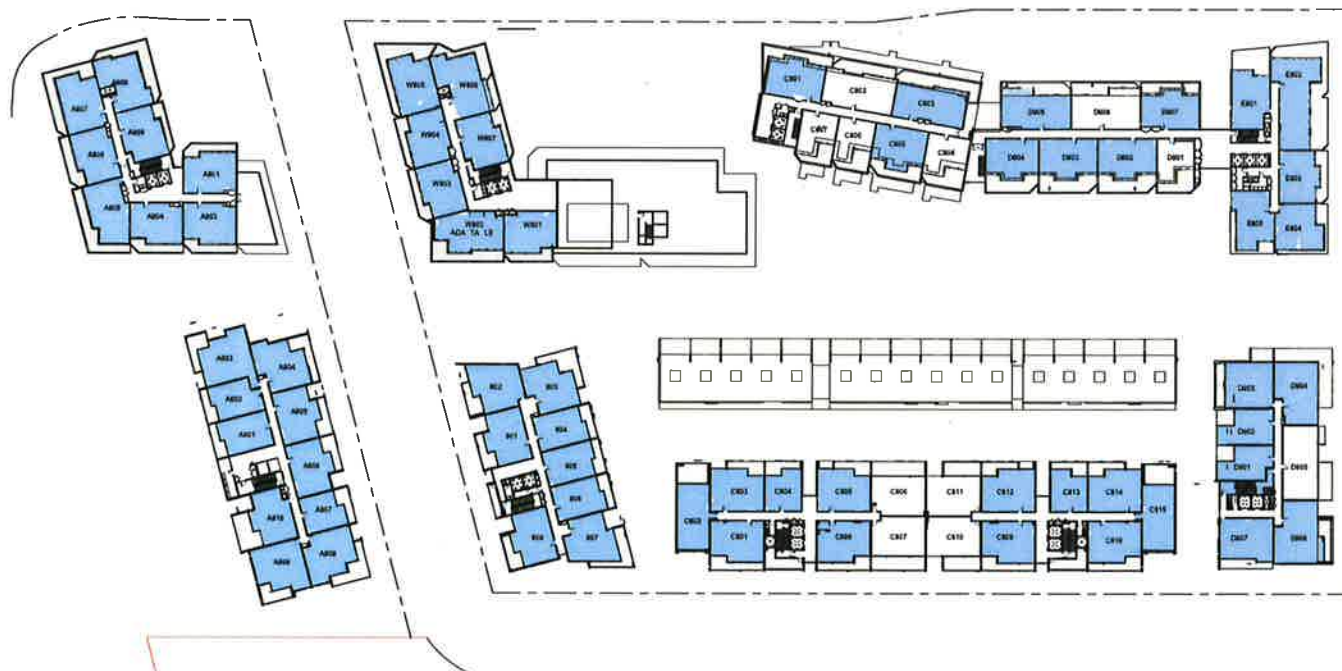
Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title
CROSS-VENTILATION
ANALYSIS

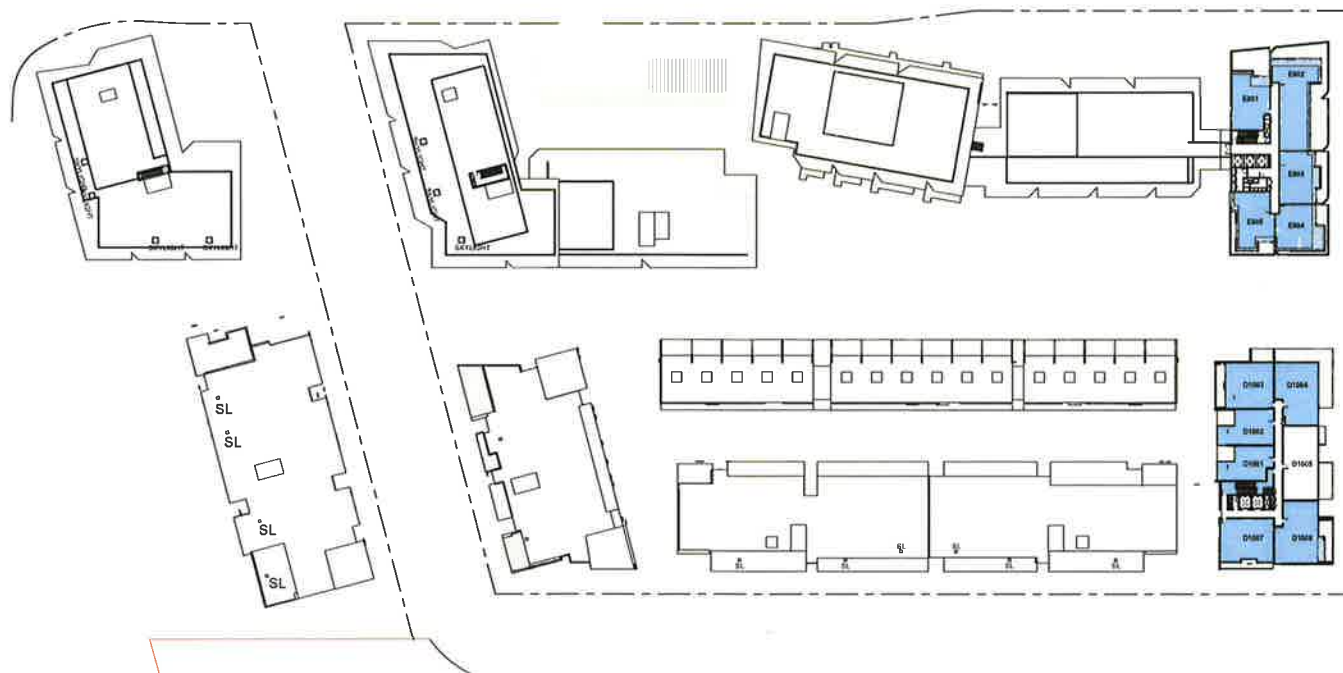
Drawing No.	Issue
DA968	B
Scale	Drawing Size
1: 500@A1	A1
Project No.	Drawn By
16117	TB/PH

Dimensions shown in this drawing are in millimetres. Dimensions in feet and inches are shown in parentheses. All dimensions are to be reported to the nearest millimetre. This drawing and its contents remain the property of WMK.

CROSS VENTILATION

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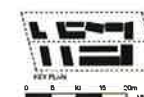
CROSS VENTILATION



CROSS VENTILATION - 44	
C	C
44 BUILDING A	105
44 BUILDING B	44
44 BUILDING C	213
44 BUILDING D	223
44 BUILDING E	53
44 BUILDING F	23
TOTAL	228

C	C
BUILDING A	19
BUILDING B	7
BUILDING C	42
BUILDING D	95
BUILDING E	77
BUILDING F	128
BUILDING G	43
TOTAL	311

48	256
56	296
TOTAL	612



DEVELOPMENT APPLICATION
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NOT FOR CONSTRUCTION

Issue	Description	Date	Issue	Description	Date
A	CH 1000	10/01/17			
B	CH 1000	10/01/17			

Client
METRO AWARD ROUSE HILL PTY LTD &
CDMA AUSTRALIA PTY LTD

Project
MULTI-RESIDENTIAL DEVELOPMENT
44-56 CUDGEGONG ROAD, ROUSE HILL
NSW 2155

Title
CROSS VENTILATION
ANALYSIS
LEVEL 10

Drawing No. DA970	Issue B
Scale 1: 500@A1	Drawing Size A1
Project No. 16117	Drawn By TB/PH

Dimensioned drawings to take precedence over writing. Contractor to verify all dimensions on site before construction. If no dimension is to be reported to the Architect immediately. This drawing and its contents remain the copyright of Jukka Ruuska or his firm.

MASTERPLAN



0 10 20 30 40 50m

SCALE 1:1000 @ A3

LEGEND

- 1. 1:1000 scale
- 2. 1:1000 scale
- 3. 1:1000 scale
- 4. 1:1000 scale
- 5. 1:1000 scale
- 6. 1:1000 scale
- 7. 1:1000 scale
- 8. 1:1000 scale
- 9. 1:1000 scale
- 10. 1:1000 scale



ARCADIA
LANDSCAPE ARCHITECTURE

44 - 56 CUDGEGONG RD ROUSE HILL

PREPARED BY Arcadia Landscape Architecture

DATE DECEMBER 2017

ARCHITECT WMK Architecture

ISSUE F



DETAIL PLAN - TOP BLOCK



LEGEND

- 01. Tree canopy
- 02. Tree canopy
- 03. Tree canopy
- 04. Tree canopy
- 05. Tree canopy
- 06. Tree canopy
- 07. Tree canopy
- 08. Tree canopy
- 09. Tree canopy



0 5 10 15 20 25M
SCALE 1:500 @ A3

ARCADIA
LANDSCAPE ARCHITECTURE

44 - 56 CUDGEGONG RD ROUSE HILL

PREPARED BY Arcadia Landscape Architecture

DATE DECEMBER 2017

ARCHITECT WMK Architecture

ISSUE F



DETAIL PLAN - LINK



LEGEND

- 01 Mature Tree (10m+)
- 02 Medium Tree (5-10m)
- 03 Low Shrub (1-5m)
- 04 Groundcover

ARCADIA
LANDSCAPE ARCHITECTURE

44 - 56 CUDGEGONG RD ROUSE HILL

PREPARED BY Arcadia Landscape Architecture
ARCHITECT WMK Architecture

DATE DECEMBER 2017
ISSUE F

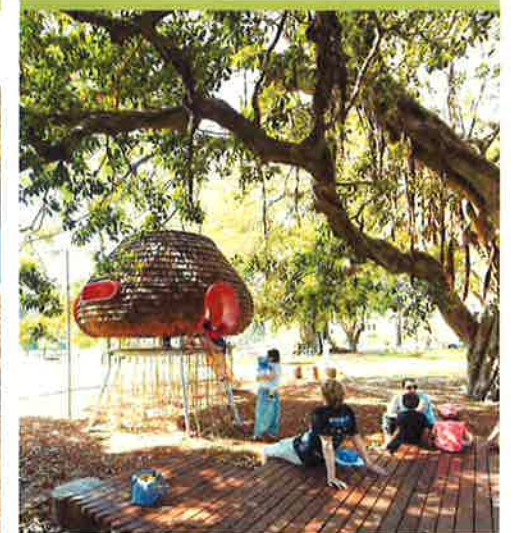


DETAIL PLAN - PUBLIC PARK



LEGEND

- 01. Grassed area
- 02. Pathway
- 03. Tree cluster
- 04. Tree cluster
- 05. Tree cluster
- 06. Tree cluster
- 07. Tree cluster
- 08. Tree cluster
- 09. Tree cluster
- 10. Tree cluster
- 11. Tree cluster



ARCADIA
LANDSCAPE ARCHITECTURE

44 - 56 CUDGEGONG RD ROUSE HILL

PREPARED BY Arcadia Landscape Architecture

DATE DECEMBER 2017

ARCHITECT WMK Architecture

ISSUE F



DETAIL PLAN - LINEAL COMMUNAL PARK



LEGEND

- 01. Tree
- 02. Lawn
- 03. Path
- 04. Water
- 05. Fencing
- 06. Building



DETAIL PLAN - STREETSCAPE



LEGEND

- 01 Large Tree
- 02 Medium Tree
- 03 Small Tree
- 04 Shrub
- 05 Groundcover
- 06 Bench
- 07 Light Pole
- 08 Trash Bin

0 5 10 15 20 25m
SCALE 1:500 @ A3



ARCADIA
LANDSCAPE ARCHITECTURE

44 - 56 CUDGEGONG RD ROUSE HILL

PREPARED BY Arcadia Landscape Architecture DATE DECEMBER 2017

ARCHITECT WMK Architecture ISSUE F

1. This plan is a preliminary design and is not to be used for construction without the approval of the relevant authorities.
2. The client is responsible for obtaining all necessary permits and approvals for the proposed works.
3. The client is responsible for ensuring that the proposed works are carried out in accordance with the relevant standards and specifications.
4. The client is responsible for ensuring that the proposed works are carried out in a timely and efficient manner.



INDICATIVE PLANTING PALETTE

TREES

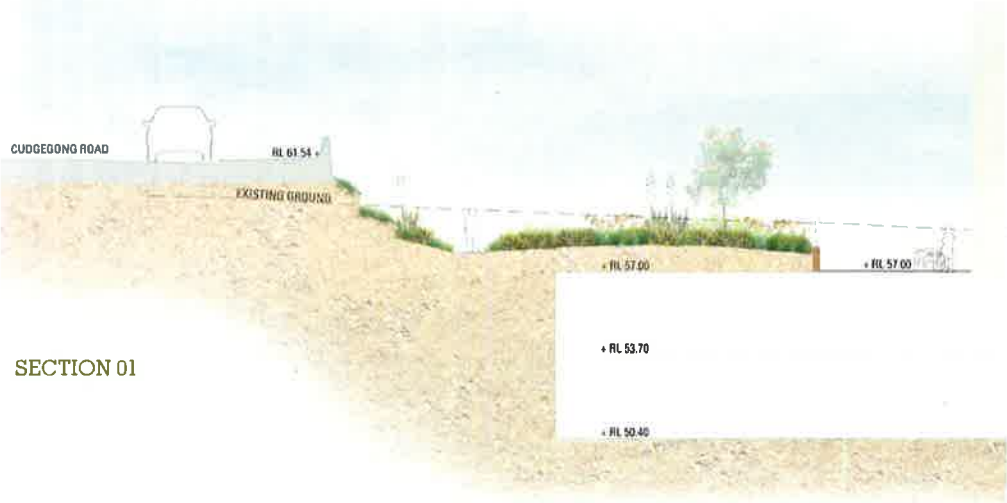


SHRUBS

GRASSES



LANDSCAPE SECTIONS



SECTION 01



SECTION 03

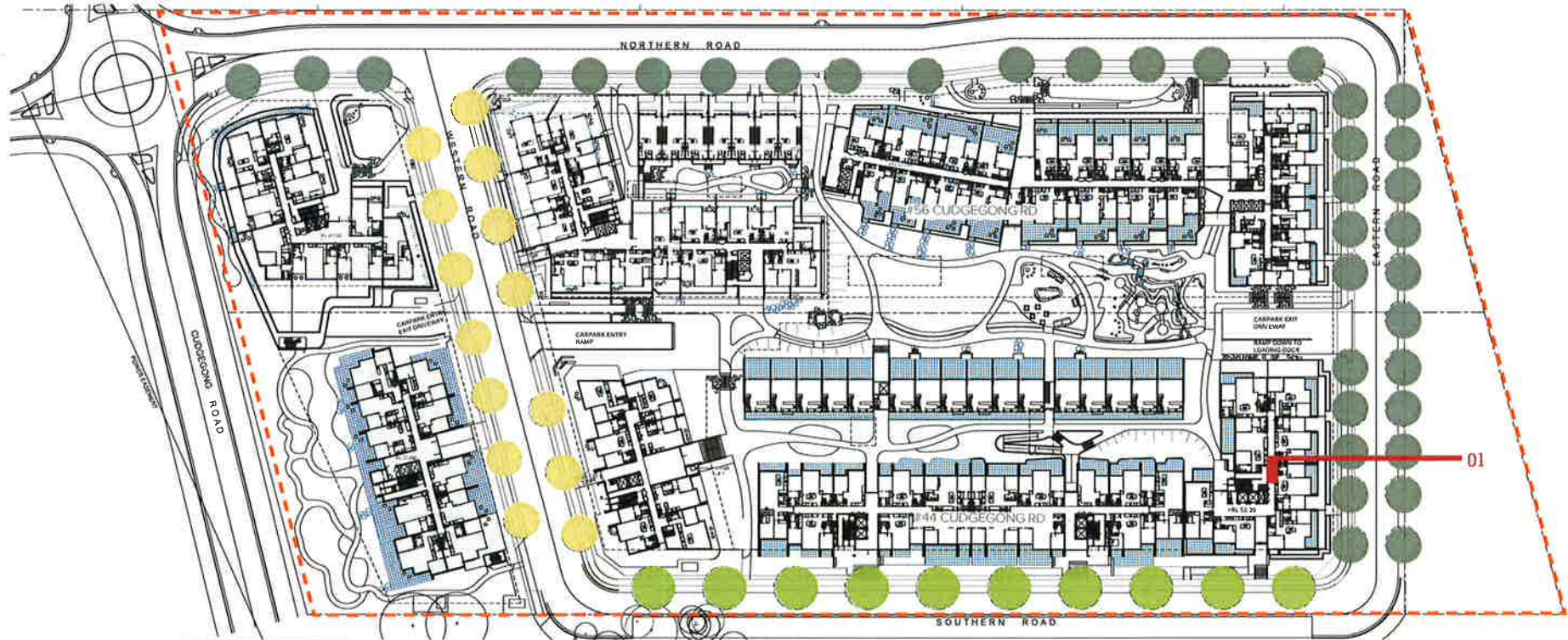
0 2 4 6 8 10M
SECTIONS SCALE 1:100 @ A1



SECTION 02



KEY PLAN NTS



SECTION 01



0 10 20 30 40 50m
SCALE 1:1000 @ A3

LEGEND

- *Wendlandia baccata* - 10m high x 4m wide
- *Freycinetia peruviana* 'Urbanus' - 10m high x 4m wide
- *Chorizanthe arbuscula* - 10m high x 4m wide





Assessment against planning controls

1 Environmental Planning and Assessment Act 1979

The development satisfies the matters for consideration under section 4.15 of the Act as detailed below.

Heads of Consideration s4.15	Comment	Complies
a. The provisions of: (i) Any environmental planning instrument (EPI)	<p>The proposal is considered to be consistent with the relevant EPIs, including SREP No. 20 – Hawkesbury- Nepean River, SEPP (State and Regional Development) 2011, SEPP (Infrastructure) 2007, SEPP BASIX 2004, SEPP No. 55 – Remediation of Land, SEPP No. 65 – Design Quality of Residential Apartment Development and the 9 'design quality principles' of SEPP 65, the Growth Centres SEPP 2006 and the Central City District Plan 2018.</p> <p>The proposed development is a permissible land use within the R3 Medium Density Residential zone and satisfies the zone objectives outlined under the Growth Centres SEPP.</p> <p>The proposal is consistent with the Cudgegong Road (Area 20) Precinct Plan, with the exception of the height of buildings development standard. The maximum permitted building height is 26 m. The proposal is for a building height ranging from 8 m to 33.1 m. The maximum breach to this development standard is 7.1 m, or 27.3%. The Applicant has submitted a request to vary this development standard under Clause 4.6 of the Growth Centres SEPP.</p> <p>On its own, the Applicant's Clause 4.6 request to vary this development standard is insufficient to address the proposed height breach. To support the Clause 4.6 application and to provide certainty that any further development on this site will not result in further building height, massing and density, we consider the Applicant's offer to enter into a Voluntary Planning Agreement to enforce maximum building height levels on the site to be an appropriate outcome. Refer to Section 7 of the Assessment Report for further details.</p>	<p>Satisfactory</p> <p>Satisfactory</p> <p>No, but subject to the execution of a Voluntary Planning Agreement to secure the overall building height of the development site, the proposed building heights are acceptable in this instance.</p>
(ii) Any proposed instrument that is or has been the subject of public consultation under this Act	<p>Prior to the lodgement of this application, a draft amendment to the Growth Centres SEPP 2006 was exhibited by the Department of Planning and Environment in May 2017, referred to as the 'North West Draft Exhibition Package.' This exhibition was undertaken to coincide with the release of the Land Use and Infrastructure Implementation Plan (the purpose of which is to guide new infrastructure investment, make sure new developments don't impact on the operation of the new Western Sydney Airport, identify locations for new homes and jobs close to transport, and coordinate services in the area).</p>	<p>Not a matter of consideration for this application as this is a draft amendment which is not certain or imminent.</p>

Heads of Consideration s4.15	Comment	Complies
	<p>A key outcome sought by the Department of Planning and Environment (DPE) is the establishment of minimum and maximum densities for all residential areas that have been rezoned under the SEPP (i.e. density bands). Currently the planning controls nominate only a minimum density. This proposal will have a significant influence on the ultimate development capacity (i.e. yield) of the precincts.</p> <p>The maximum density bands for Area 20 have yet to be released.</p>	
(iii) Any development control plan (DCP)	The Growth Centres DCP applies to the site. The proposed development is compliant with the numerical controls established under the DCP, with the exception of a minor variation to building street setbacks for portions of the development. Refer to further discussion at Section 7 of the Assessment Report.	No, but variation is supported in this instance.
(iiia) Planning agreement	The application is accompanied by a letter of offer from the Applicant to enter into a Voluntary Planning Agreement (VPA) with Council to establish a series of maximum building height levels throughout the development site. This is due to the varied scale of buildings, being 2, 3, 8 and 10 storeys. The intent of the VPA is to provide certainty that any further development on this site will not incur additional building height, massing and density, and result in overdevelopment. We consider the Applicant's offer to enter into a Voluntary Planning Agreement to enforce maximum building height levels on the site to be an appropriate development outcome.	Yes, subject to conditions requiring the Voluntary Planning Agreement to be executed.
(iv) The regulations	The DA is compliant.	Yes
b. The likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts on the locality	<p>It is considered that the likely impacts of the development, including traffic, parking and access, design, bulk and scale, overshadowing, noise, privacy, waste management, flora and fauna, salinity, contamination and stormwater management have been satisfactorily addressed.</p> <p>A site analysis was undertaken to ensure that the proposed development will have minimal impacts on surrounding properties.</p> <p>In view of the above, it is believed that the proposed development will not have any unfavourable social, economic or environmental impacts.</p>	Yes
c. The suitability of the site for the development	<p>The subject site is zoned R3 Medium Density Residential with a 26 m building height limit under the Growth Centres SEPP. Residential flat buildings are permissible on the site with development consent.</p> <p>The site has an area and configuration that is suited to this form of development. The design solution is based on sound site analysis and responds positively to the different types of land uses adjoining the site.</p> <p>The site is located within close proximity to the new Sydney Metro Northwest (under construction) and future Local Centre on Cudgegong Road.</p>	Yes

Heads of Consideration s4.15	Comment	Complies
	The proposal is generally consistent with the Area 20 Precinct Plan. The road layout differs from the Indicative Layout Plan by virtue of consolidating 2 separate land parcels. However, the road layout was considered and approved in the DA for the subdivision of the site (DA-17-02743). This application for RFBs is consistent with the approved subdivision. The approved staged subdivision plans are at attachment 9 .	
d. Any submissions made in accordance with this Act, or the Regulations	The application was exhibited for comment for a period of 14 days. No submissions were received during the notification period.	Satisfactory
e. The public interest	It is considered that no adverse matters relating to the public interest arise from the proposal. The proposal provides high quality housing stock and provides for housing diversity within the Cudgegong Road (Area 20) Precinct.	Yes

2 Sydney Regional Environmental Plan No. 20 – Hawkesbury-Nepean River

A consent authority must take into consideration the general planning considerations set out in Clause 5 of SREP 20 and the specific planning policies and recommended strategies in Clause 6 of SREP 20. The planning policies and recommended strategies under SREP 20 are considered to be met through the development controls of the Growth Centres SEPP.

The development generally complies with the development standards and controls established within the Growth Centres SEPP, to enable the orderly development of the site. There are variations to the development standards and controls with respect to building height. However, the proposed development has demonstrated consistency with the relevant objectives and represents a site responsive development. Therefore, the proposal is considered to satisfy Clause 4 of SREP 20.

3 State Environmental Planning Policy (State and Regional Development) 2011

The Sydney Planning Panel (SPP) is the consent authority for all development with a capital investment value (CIV) of over \$20 million (being the CIV applicable for applications lodged but not determined prior to 1 March 2018 under Clause 23 transitional provisions of this SEPP).

As the DA has a CIV of \$187,667,335, Council is responsible for the assessment of the DA and determination of the application is to be made by the SPP.

4 State Environmental Planning Policy (Infrastructure) 2007

The SEPP ensures that Roads and Maritime Services (RMS) is given the opportunity to comment on development nominated as 'traffic generating development' under Schedule 3 of the SEPP. The development was referred to RMS, who found the development acceptable subject to conditions of consent.

The proposed development was also referred to Endeavour Energy, due to the presence of the transmission lines traversing the development site along the western boundary. The development was found to be acceptable subject to conditions of consent. Specific recommendations were provided by Endeavour Energy with respect to building setbacks, fencing and landscape design.

These recommendations have been incorporated into the final development plans. Separate written approval has also been obtained by the Applicant in respect of works commencing in the transmission easement area.

The proposal is accompanied by a Concept Design Acoustic Report prepared by Marshall Day Acoustics dated February 2017. This report considers the impact of noise on the proposed development from the Sydney Metro Northwest and associated rail facilities to the south and Cudgegong Road to the west under Clause 87 and Clause 102 of this SEPP.

The anticipated sources of noise are considered to be:

- noise from the Sydney Metro Northwest, including Tallawong Station and the Rapid Transit Rail Facility
- road traffic noise from Cudgegong Road
- air conditioning units
- shared building services, including carpark exhaust and air conditioning equipment.

The redevelopment of the adjoining site to the south, 38 Cudgegong Road for 8 storey residential flat buildings, is expected to absorb rail noise and act as a buffer, preventing the proposed development from being a direct receiver of rail associated noise.

The report advises that Cudgegong Road is proposed as a local street with projected 2036 traffic volume not expected to exceed 6,500 vehicles per day, and concludes that it is unlikely the subject site will be adversely affected by road noise or vibration, and is therefore not required to be assessed under Clause 102.

The report advises that, in recognition of the transitioning nature of the Cudgegong Road (Area 20) Precinct, the proposed development will not be directly impacted by rail and road associated noise and vibration and does not require consideration under State Environmental Planning Policy (Infrastructure) 2007.

Noise mitigation measures are recommended in building design to ensure the proposed dwellings satisfy the relevant Australian Standards and NSW Environment Protection Authority (EPA) Industrial Noise Policy, and to ensure a suitable level of amenity is maintained.

Our Environmental Health Officer has reviewed this report and advises that the proposal is acceptable, subject to conditions of consent requiring these noise mitigation measures to be implemented.

5 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A BASIX Certificate has been lodged as part of the DA. The BASIX Certificate indicates that the development has been designed to achieve the required water, thermal comfort and energy scores. A suitable condition will be imposed requiring compliance with the submitted BASIX Certificate.

6 State Environmental Planning Policy No. 55 – Remediation of Land

SEPP 55 aims to 'provide a State-wide planning approach to the remediation of contaminated land'. Clause 7 requires a consent authority to consider whether the land is contaminated and if it is suitable or can be remediated to be made suitable for the proposed development, prior to the granting of development consent.

Refer to pages 7 and 8 of **attachment 4** for a full discussion of this issue.

7 State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development

SEPP 65 applies to the assessment of Development Applications for residential flat buildings 3 or more storeys in height and containing at least 4 dwellings.

Clause 28 of SEPP 65 requires a consent authority to take into consideration:

- advice (if any) obtained from the design review panel
- design quality of the residential flat development when evaluated in accordance with the design quality principles
- the Apartment Design Guide (ADG).

We do not have a design review panel. However, the tables below provide comments on our assessment of the 9 design principles and the numerical guidelines of the Apartment Design Guide.

7.1 Design quality principles

The development satisfies the 9 design principles.

Principle	Control	Town planning comment
1. Context and neighbourhood character	<p>Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.</p> <p>Responding to context involves identifying the desirable elements of an area's existing or future character. Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.</p>	<p>The site is located within a Greenfields context, within the Cudgegong Road (Area 20) Precinct of the North West Growth Centre. The site is to the north of the Sydney Metro Northwest under construction.</p> <p>The future Cudgegong Local Centre and Tallawong Railway Station are to the south-west on the opposite side of Cudgegong Road.</p> <p>The layout and design of the proposal responds well to the context of the site and is satisfactory with regard to the development standards and controls.</p> <p>The buildings have been architecturally designed and are considered compatible with the social, economic and environmental identity of this Precinct.</p>
2. Built form and scale	<p>Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.</p> <p>Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements.</p> <p>Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal</p>	<p>The built form, height and scale of the proposed development have been resolved by a thorough evaluation of the site's surrounding context, topography and environmental characteristics, with an emphasis on amenity for future residents.</p> <p>The proposed development consists of 2 adjoining sites with a total of 11 residential apartment buildings ranging from 2 to 10 storeys, with 5 buildings on 44 Cudgegong Road and 6 buildings on 56 Cudgegong Road.</p> <p>Buildings on 44 Cudgegong Road will</p>

Principle	Control	Town planning comment
	amenity and outlook.	<p>contain 359 residential apartments. 56 Cudgegong Road will contain 352 residential apartments.</p> <p>The 10 storey heights of Building D at 44 Cudgegong Road and Building E on 56 Cudgegong Road are a result of a redistribution of building mass from other buildings to maximise the amenity to residents within the development by allowing significantly greater solar access to lower level apartments and internal communal open spaces.</p> <p>Due to the topography of the site, which equates to a total fall of 16.3 m, the reduced level (RL) of the maximum height of the 2 x 10 storey buildings on the eastern edge of the site will be lower than the maximum height of the western buildings adjoining Cudgegong Road.</p> <p>As a result of the topography, the perceivable height of the buildings from Cudgegong Road and the surrounding areas will be reduced. A range of different materials and aesthetics have been applied to buildings across the site to provide further visual interest and to break up the bulk and scale.</p>
3. Density	<p>Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.</p> <p>Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.</p>	<p>The proposal is for 711 apartments with a significant level of density, being 174 dwellings per hectare.</p> <p>Each apartment has been designed to achieve a suitable level of amenity for residents. The proposed density and resulting population increase is consistent with that currently envisaged by the Growth Centres Precinct for this site.</p> <p>As demonstrated in the massing models provided at attachment 5, the 2 additional storeys (consisting of 24 apartments) to the 2 eastern buildings were redistributed/reallocated from the centrally located 2 and 3 storey building elements and the communal open space area at the west of the site. This approach demonstrates that no additional apartments have been derived from the effective redistribution of the building mass.</p> <p>The approved subdivision (DA-17-02743) has established appropriate development lots that will provide new public roads of sufficient capacity to cater for the proposed development, the setting aside of land for that portion of the site zoned RE1 Public Recreation</p>

Principle	Control	Town planning comment
		<p>and surrounding developments which will utilise this local road network.</p> <p>The proposed residential flat building development is within walking distance of public transport and the Tallawong Railway Station and Cudgegong town centre.</p>
4. Sustainability	<p>Good design combines positive environmental, social and economic outcomes.</p> <p>Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.</p>	<p>The proposal provides for a mix of dwelling types and sizes, contributing to the housing diversity within the locality.</p> <p>The proposal is supported by a BASIX Certificate. The commitments are incorporated into the design of the building. The proposal demonstrates satisfactory levels of sustainability, waste management and efficient use of energy and water resources.</p>
5. Landscape	<p>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.</p> <p>Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks.</p> <p>Good landscape design optimises useability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity and provides for practical establishment and long term management.</p>	<p>A landscape plan has been submitted with the proposal, which incorporates a variety of planting that contributes to the amenity of the development. Deep soil zones have been provided throughout the development, to ensure sufficient planting can be achieved, some of which are co-located with the internal courtyard communal open space areas.</p> <p>The proposed landscape plans draw inspiration from the natural bushland and creek corridor to the west of the site, while providing an urban edge to the character of open spaces within the central part of the site.</p> <p>The design has a myriad of landscaped through-site connections and open spaces to provide residents of each building with easy access and a variety of different environments for recreation, relaxation and entertaining.</p> <p>The development will also have direct access to the proposed shared pedestrian cycle links along the creek corridor and the regional sports fields located directly to the north-east of the site.</p>

Principle	Control	Town planning comment
6. Amenity	<p>Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident wellbeing.</p> <p>Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas and ease of access for all age groups and degrees of mobility.</p>	<p>The design of the proposal is considered to provide an acceptable level of amenity through a carefully considered spatial arrangement and layout.</p> <p>The proposal achieves a suitable level of internal amenity through providing appropriate room dimensions and shapes, access to sunlight, natural ventilation, visual and acoustic privacy, storage, indoor and outdoor space, outlook, efficient layouts and service areas.</p> <p>The proposal is designed with suitable consideration to receive solar access to habitable rooms, private open space and communal open space areas. This is considered to be appropriate given the adjoining site to the north is also capable of redevelopment and will overshadow parts of this site.</p> <p>The redistribution of building mass within the development will significantly improve the amenity of dwellings on the site by:</p> <ul style="list-style-type: none"> • providing significantly greater building separation from Levels 3 and above • allowing greater solar access to Building D and the communal open space on 44 Cudgegong Road. <p>Locating the highest buildings on the lowest portion of the site, adjacent to the riparian corridor, mitigates the visual impact of the height exceedance as the buildings will have a limited interface with surrounding development and public spaces.</p>
7. Safety	<p>Good design optimises safety and security within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.</p> <p>A positive relationship between public and private spaces is achieved through clearly defined secure access points and well-lit and visible areas that are easily maintained and appropriate to the location and purpose.</p>	<p>The proposal is considered to be satisfactory in terms of future residential occupants overlooking communal spaces while maintaining internal privacy. Public and private spaces are clearly defined and suitable safety measures are integrated into the development.</p> <p>The proposal provides suitable casual surveillance of the public domain.</p> <p>It is noted that all of the communal open space area is located at the public domain level (that is, no rooftop communal open space), which is preferable with regard to promoting safety.</p>

Principle	Control	Town planning comment
8. Housing diversity and social interaction	<p>Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.</p> <p>Well-designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix.</p> <p>Good design involves practical and flexible features, including different types of communal spaces for a broad range of people and providing opportunities for social interaction among residents.</p>	<p>The proposal consists of a mix of dwellings which are responsive to anticipated market and demographic demands.</p> <p>The proposal provides additional housing choice which is in close proximity to public transport and the proposed new Cudgegong Local Centre.</p> <p>The proposal provides greater housing diversity with 2 storey and 3 storey townhouse style products which are not currently proposed in the surrounding area.</p>
9. Aesthetics	<p>Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.</p> <p>The visual appearance of a well-designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.</p>	<p>The proposed development is considered to be appropriate in terms of the composition of building elements, textures, materials, finishes and colours and reflect the use, internal design and structure of the resultant buildings, with the exception of the colour of the brickwork on the external façades.</p> <p>Within 44 Cudgegong, the first 3 storeys of the façade have brick framing elements that form a heavy base, with a lighter tower element over. The façade is made up of a series of boxes which provide relief so that the buildings do not consist of flat facades.</p> <p>As a point of difference, the architectural intent for 56 Cudgegong is to also provide a base element, with a contrasting expression through change in materials. The base consists of a light coloured precast concrete on the first 3 floors, with a fluted concrete band surrounding the third level. The towers above are darker in colour to make upper levels more recessive.</p> <p>This distinct and contemporary design assists in setting a suitable appearance for the transitioning character of this locality and creates a desirable streetscape.</p>

7.2 Compliance with Apartment Design Guide (ADG)

The following assessment table identifies that the proposal is consistent with the relevant design concepts and numerical guidelines in the ADG, with the exception of building separation.

ADG requirement		Proposal	Compliance
Controls			
2F	Up to 4 storeys/12 m:	All buildings comply with the building separation design	Yes

ADG requirement		Proposal	Compliance
Building Separation	<ul style="list-style-type: none"> - 12 m between habitable rooms/balconies - 9 m between habitable rooms/balconies and non-habitable rooms - 6 m between non-habitable rooms 	criteria.	
	5 to 8 storeys/up to 25 m: <ul style="list-style-type: none"> - 18 m between habitable rooms/balconies - 13 m between habitable rooms/balconies and non-habitable rooms - 9 m between non-habitable rooms 	All buildings comply with the building separation design criteria.	Yes
	Nine storeys and above/over 25 m: <ul style="list-style-type: none"> - 24 m between habitable rooms/balconies - 18 m between habitable rooms/balconies and non-habitable rooms - 12 m between non-habitable rooms 	All buildings comply with the building separation design criteria.	Yes
Siting the Development			
3A Site analysis	Satisfy the site analysis guidelines - Appendix 1.	Site analysis provided.	Yes
3B Orientation	Where an adjoining property does not currently receive 2 hours of sunlight in midwinter, solar access should not be further reduced by more than 20%. 4 hours of solar access should be retained to solar collectors on neighbouring buildings.	The adjoining properties currently receive adequate solar access. N/A	Yes
3C Public domain interface	Ground level courtyards to have direct access, if appropriate. Ground level courtyards to be above street level for visual privacy. Balconies and windows to overlook the public domain. Front fences to be visually permeable with maximum 1 metre height and limited length. Entries to be legible. Raised terraces to be softened by landscaping.	Ground level access is provided to some ground level units. Ground level courtyards are at a suitable level. Balconies and windows provide casual surveillance of the public domain. No front fences proposed. Entry is legible. Raised areas are suitably landscaped.	Yes Yes Yes N/A Yes Yes

ADG requirement		Proposal	Compliance
	Mailboxes to be located in lobbies, perpendicular to the street or within the front fence.	Mailboxes are to be located to satisfy the recommendations of the Police and Australia Post.	Yes
	Basement carpark vents not to be visually prominent.	Basement carpark vents are not visually prominent.	Yes
	Substations, pump rooms, garbage storage rooms and other service rooms should be located in the basement car parks or out of view.	Substations to be screened and appropriately treated. Service rooms are within the basement.	Yes
	Ramping for accessibility to be minimised.	Ramping is suitable.	Yes
	Durable, graffiti resistant and easily cleanable materials should be used.	Suitable and durable materials are proposed.	Yes
	On sloping sites, protrusion of car parking should be minimised.	Car parking is suitably designed to be within the building footprint.	Yes
3D Communal and public open space	<p>Communal open space (COS) >25% of the site.</p> <p>Direct sunlight to >50% of COS for 2 hours between 9 am and 3 pm.</p>	<p>Site area: 27,520 m² Required 25% = 6,880 m² Provided 32% = 8,882 m²</p> <p>The large central communal open space area will not receive 2 hours of sunlight access to 50% of its area. However, the development contains a number of secondary open spaces which will receive solar access.</p> <p>The development will comply with the design guidance of the ADG by:</p> <ul style="list-style-type: none"> • providing secondary open spaces across the site which do receive solar access in midwinter • providing balcony/private open space sizes which exceed the areas recommended under the ADG. <p>It should also be noted that, while the large central communal open space area will receive minimal solar access at midwinter, it still offers residents with a significantly sized open space throughout other times of the year.</p> <p>Based on the above, residents and their visitors will have ample accessibility to a variety of open spaces for recreation, relaxation and entertaining throughout the year.</p>	<p>Yes</p> <p>Variation sought, design objectives achieved.</p>

ADG requirement		Proposal	Compliance
	Minimum dimension of 3 m.	Minimum dimension of 3 m is achieved.	Yes
	Direct and equitable access.	Direct and accessible access is achieved to all areas of COS.	Yes
	If COS cannot be located on ground level, provide on the podium or roof.	All COS is provided at ground level.	N/A
	If it COS can't be achieved, provide on rooftop of a common room, provide larger balconies, or demonstrate proximity to public open space and facilities.	N/A	N/A
	Range of activities (e.g. seating, BBQ, play area, gym or common room).	Common open space to be embellished with seating, BBQ areas and children's play areas.	Yes
	Visual impacts minimised from ventilation, substations and detention tanks.	The COS is clear of services.	Yes
	Maximise safety.	The COS demonstrates a safe design.	Yes
	Public open space, where provided, is to be well connected and adjacent to street.	Achieved.	Yes
3E Deep soil zones	Minimum area = 7% of site area. Preferred area = 15%. If the site is between 650 to 1,500 m ² then minimum dimensions of 3 m. If over 1,500 m ² then minimum dimensions of 6 m.	2,291 m ² of deep soil zone provided, equivalent to 8% of site area. Suitable dimensions of deep soil zone are provided. The proposal has deep soil areas which are co-located with COS area.	Yes
3F Visual privacy	Building Separation: refer to 2F above. Separation distances between buildings on the same site depending on the type of room as to reflect Figure 3F.2. Direct lines of sight should be avoided for windows and balconies across corners. Appropriate design solutions should be in place to separate POS and habitable windows to common areas. Note: When adjacent to a lower density residential zone an additional 3 metre rear side setback is required. Note: When adjacent to a lower density residential zone an additional 3 metre rear side setback is required.	All buildings comply with the building separation design criteria.	Yes
3G Pedestrian access and entries	Connect to and activate the public domain. Easy to identify access. Internal pedestrian links to be direct.	Pedestrian access to the street frontage is legible and direct. Internal links are provided through the site and are direct.	Yes

ADG requirement		Proposal	Compliance
3H Vehicle access	Access points are safe and create quality streetscapes.	Vehicular and pedestrian access is provided separately and safely.	Yes
3J Bicycle and car parking	Sites within 800 m of a railway station comply with <i>Guide to Traffic Generating Developments</i> .	The site is within 800 m of Tallawong Railway Station under construction.	Yes
	<p>< 20 units 1 space for each unit An additional 0.2 space for each 2br unit An additional 0.5 space per 3br unit 0.2 space for visitor parking</p>	N/A	N/A
	<p>>20 units Metropolitan Sub-Regional Centres: 0.6 spaces per 1 bedroom unit. 0.9 spaces per 2 bedroom unit. 1.4 spaces per 3 bedroom unit. 1 space per 5 units (visitor parking)</p> <p>Conveniently located and sufficient numbers of bicycle and motorbike spaces.</p>	<p>770 parking spaces are required as follows:</p> <ul style="list-style-type: none"> • Residents – 628 • Visitors – 143 <p>1,055 parking spaces are proposed as follows:</p> <ul style="list-style-type: none"> • Residents – 845 • Visitors – 176 • Service bays - 10 • Carwash bays - 24 <p>The 'loss' of 40 on-street parking bays due to the deletion of the central east-west road will be offset by the surplus of 250 (32%) parking spaces (comprising 217 surplus residential, service and carwash spaces and 33 surplus visitor spaces).</p> <p>235 bicycle parking spaces are required. 396 bicycle spaces are proposed.</p> <p>No motorbike spaces are provided, however a condition is recommended to be imposed requiring 15 motorbike spaces to be provided, being 1 motorbike space per 50 apartments.</p>	<p>Yes</p> <p>Yes, subject to conditions.</p>
Designing the building			
4A Solar and daylight access	Living rooms and private open space receive minimum 2 hours direct sunlight between 9 am – 3 pm in mid-winter > 70% of units (Minimum 1 m ² of direct sunlight measures at 1 metre above floor level is achieved for at least 15 minutes).	70.3%	Yes

ADG requirement		Proposal	Compliance
	<p>Maximum number with no sunlight access < 15%.</p> <p>Suitable design features for operable shading to allow adjustment and choice.</p>	<p>Achieved</p> <p>Projecting balcony elements and screening devices assist with managing solar access.</p>	
4B Naturally ventilation	<p>All habitable rooms naturally ventilated.</p> <p>Number of naturally cross ventilated units > 60%.</p> <p>Depth of cross over apartments < 18m.</p> <p>The area of unobstructed window openings should be equal to at least 5% of the floor area served.</p>	<p>All habitable rooms naturally ventilated.</p> <p>64%</p> <p>Yes.</p> <p>The window areas are satisfactory.</p>	Yes
4C Ceiling heights	<p>2.7 m for habitable</p> <p>2.4 m for non-habitable</p> <p>Service bulkheads are not to intrude into habitable spaces.</p>	<p>2.7m provided for habitable rooms.</p> <p>2.4m provided for non-habitable rooms.</p>	Yes
4D Apartment size and layout	<p>Studio > 35 m²</p> <p>1 bed > 50 m²</p> <p>2 bed > 70 m²</p> <p>3 bed > 90 m²</p> <p>+ 5 m² for each unit with more than 1 bathroom.</p> <p>Habitable Room Depths: limited to 2.5 m x ceiling height (6.75 m with 2.7 m ceiling heights)</p> <p>Open Plan Layouts that include a living, dining room and kitchen – maximum 8 m to a window.</p> <p>Bedroom sizes (excluding wardrobe space):</p> <p>Master – 10 m²</p> <p>Other – 9 m²</p> <p>Minimum dimensions – 3 m</p> <p>Living rooms/dining areas have a minimum width of:</p> <p>3.6 m – Studio or 1 bedroom</p> <p>4 m – 2 or 3 bedroom</p> <p>Cross-over/cross-through: minimum 4 m wide</p>	<p>Achieved.</p> <p>Achieved.</p> <p>Achieved.</p> <p>Achieved.</p> <p>Where second bathrooms are provided, unit size exceeds the minimum size of 5 m².</p> <p>Satisfactory room depths.</p> <p>Open plan layouts are provided. Kitchens are less than 8 m to a window.</p> <p>Bedroom sizes and dimensions meet requirements.</p> <p>Achieved.</p> <p>Achieved.</p>	Yes
4E Private open space and balconies	<p>Studio > 4 m²</p> <p>1 bed > 8 m² and 2 m depth</p> <p>2 bed > 10 m² and 2 m depth</p> <p>3 bed > 12 m² and 2.4 m depth</p> <p>Ground level/ podium apartments > 15 m² and 3 m depth</p> <p>Extension of the living space.</p>	<p>Balcony dimensions compliant for the equivalent apartment size.</p> <p>Minimum 15 m² and 3 m.</p> <p>Private open space is an extension of the living space.</p>	Yes

ADG requirement		Proposal	Compliance
	Air conditioning units should be located on roofs, in basements, or fully integrated into the building design.	Achieved	
4F Common circulation and spaces	<p>Maximum number of apartments off a circulation core on a single level – 8-12.</p> <p>Buildings over 10 storeys - maximum of 40 units sharing a single lift.</p> <p>Daylight and natural ventilation to all common circulation areas above ground level.</p> <p>Corridors greater than 12 m from the lift core to be articulated by more foyers, or wider areas/higher ceiling heights at apartment entry doors.</p> <p>Maximise dual aspect apartments and cross over apartments.</p> <p>Primary living room and bedroom windows are not to open directly onto common circulation spaces.</p> <p>Direct and legible access.</p> <p>Tight corners and spaces to be avoided.</p> <p>Well lit at night.</p> <p>For larger developments – community rooms for owners meetings or resident use should be provided.</p>	<p>Up to 8 apartments per core.</p> <p>Lifts will not serve more than 40 apartments.</p> <p>Yes.</p> <p>Achieved.</p> <p>Dual aspect apartments are provided.</p> <p>Windows do not open onto common circulation areas.</p> <p>Achieved.</p> <p>Achieved.</p> <p>Achieved.</p> <p>Not provided. However, extensive communal open space areas are provided, including the centrally located public park which is available for the use of residents and their guests. The proposal is considered to provide a high level of recreational and passive communal spaces, and the provision of a further community room is not considered necessary.</p>	<p>Yes</p> <p>No. However, this is not considered necessary.</p>
4G Storage	<p>Studio > 4 m³</p> <p>1 bed > 6 m³</p> <p>2 bed > 8 m³</p> <p>3 bed > 10 m³</p> <p>Min 50% within the apartment.</p>	Minimum storage areas provided, with a minimum 50% provided in apartment. Storage spaces also provided within basement.	Yes
4H Acoustic privacy	<p>Window and door openings orientated away from noise sources.</p> <p>Noise sources from garage doors, driveways, services, communal open space and circulation areas to be 3 m from bedrooms.</p> <p>Separate noisy and quiet spaces.</p> <p>Provide double/acoustic glazing, acoustic seals, materials with low noise penetration.</p>	<p>Achieved.</p> <p>Achieved.</p> <p>Achieved.</p> <p>Suitable acoustic measures to be installed.</p>	Yes

ADG requirement		Proposal	Compliance
4J Noise and pollution	In noisy or hostile environments, the impacts of external noise and pollution are to be minimised through the careful siting and layout of buildings. To mitigate noise transmission: Limit the number and size of openings facing the noise sources. Use double or acoustic glazing, acoustic louvres or enclosed balconies (winter gardens). Use materials with mass and/or sound insulation (e.g. solid balcony balustrades, external screens or soffits).	The layout of the development considers potential noise and pollution impacts, and is satisfactory.	Yes
Configuration			
4K Apartment mix	Provide a variety of apartment types. Flexible apartment mix.	The proposal is for 711 apartments. 44 Cudgegong = 359 apartments (86 x 1 bed, 2 x 1 bed + study, 233 x 2 beds, 22 x 3 beds, 16 x 2 beds townhouses). 56 Cudgegong = 352 apartments (42 x 1 bed, 4 x 1 bed + study, 240 x 2 beds, 16 x 3 beds, 34 x 2 bed townhouses, 16 x 3 bed townhouses). The proposed 'townhouse' style dwellings are a mix of 2 storey buildings, 3 storey buildings and multi-storey apartments within the residential flat buildings. A suitable and responsive apartment mix is provided.	Yes
4L Ground floor apartments	Maximise street frontage activity. Direct street access to ground floor apartments. Ground floor apartments to deliver amenity and safety for residents.	The ground level apartments achieve an overall high level of amenity and safety, and are satisfactory.	Yes
4M Facades	Front building facades are to provide visual interest whilst respecting the character of the local area. Building services are to be integrated into the overall façade. Provide design solutions which consider scale and proportion to the streetscape and human scale.	The front façades are architecturally treated to create visual interest and contribute to the desired future character of this area. Plant and equipment are catered for at the basement levels.	Yes
4N Roof design	Roof treatments are to be integrated into the building design and positively respond to the street.	The roof is designed to be recessive and not visible from the public domain. No communal open space and only limited plant / equipment are proposed on the roof of the proposed buildings.	Yes

ADG requirement		Proposal	Compliance
4O Landscape design - site area	<p>< 850 m² - 1 medium tree per 50 m² of deep soil zone.</p> <p>850 m² to 1,500 m² - 1 large tree or 2 medium trees per 90 m² of DSZ.</p> <p>>1,500 m² - 1 large tree or 2 medium trees per 80 m² of deep soil zone.</p>	<p>The total site area is 27,520 m². Deep soil zone of 2,064 m² is required (7.5%).</p> <p>Deep soil zone of 2,291 m² is proposed (8%).</p> <p>The proposed landscaping species are suitable.</p>	Yes
4P Planting on structures	<p>Provide sufficient soil volume, depth and area. Provide suitable plant selection.</p> <p>Provide suitable irrigation and drainage systems and maintenance.</p> <p>Enhance the quality and amenity of communal open space with green walls, green roof and planter boxes, etc.</p>	<p>Planting is provided within the setbacks and central courtyards, some of which is above the basement structures.</p> <p>The proposal comprises suitable plant selection which is considered to enhance the quality and amenity of the Communal Open Space.</p> <p>Feature trees provided within central communal courtyard areas have been provided with sufficient soil depth.</p>	Yes
4Q Universal design	10% adaptable housing.	The proposal has a total of 711 apartments, 10% of which are capable of adaptation.	Yes
4R Adaptive reuse	New additions to existing buildings are contemporary and complementary and enhance an area's identity and sense of place.	N/A	N/A
4S Mixed use	<p>Provide active street frontages and encourage pedestrian movement.</p> <p>Residential entries separate and clearly defined.</p> <p>Landscaped communal open space to be at podium or roof level.</p>	N/A	N/A
4T Awnings and signage	<p>Awnings to be continuous and complement the existing street character.</p> <p>Provide protection from sun and rain, wrapped around the secondary frontage.</p> <p>Gutters and down pipes to be integrated and concealed.</p> <p>Lighting under awnings is to be provided.</p> <p>Signage is to be integrated and in scale with the building.</p> <p>Legible and discrete way finding is to be provided.</p>	N/A	N/A

ADG requirement		Proposal	Compliance
Performance			
4U Energy efficiency	The development is to incorporate passive solar design. Heating and cooling infrastructure are to be centrally located (e.g. basement).	The development allows for the optimisation / management of heat storage in winter and heat transfer in summer. No details of services, however plant rooms are provided within the basement. A BASIX Certificate outlining energy efficiency commitments has also been provided with the development.	Yes
4V Water management and conservation	Rainwater collection and reuse. Drought tolerant plants. Water sensitive urban design measures. Detention tanks should be located under paved areas, driveways or in basement car parks.	All stormwater runoff from the on-lot buildings and hard-standing areas will be directed into tanks within the basement with proprietary treatment products to treat the water. Drought tolerant plants - the identified species accords with the recommendations of Council. On-site detention is not proposed nor required for this development.	Yes
4W Waste management	Waste storage should be discreetly located away from the front of the development or in the basement. Waste cupboard within each dwelling Waste and recycling rooms are to be in convenient and accessible locations related to each vertical core.	The proposal is accompanied by a comprehensive Waste Management Plan. - Recycling bins are located in the waste compartment on each level. - Garbage is collected twice weekly. - Recycling is collected weekly. - Residential waste and recycling will be collected by a private contractor. The proposed waste arrangement is satisfactory, including providing a 4.5 metre basement clearance for waste truck travel paths.	Yes
4X Building maintenance	The design is to provide protection from weathering. Enable ease of maintenance. The materials are to reduce ongoing maintenance costs.	The proposal demonstrates ease of maintenance.	Yes

8 State Environmental Planning Policy (Sydney Region Growth Centres) 2006

Appendix 6 of the SEPP, Area 20 Precinct Plan, applies to the site. The table below provides a summary assessment of the development standards established within the Growth Centres SEPP and the proposal's compliance with these standards. The development complies with the development standards contained within the SEPP.

8.1 General controls within main body of the SEPP

SEPP requirement		Complies
2 Aims of Policy		
<ul style="list-style-type: none"> a. to co-ordinate the release of land for residential, employment and other urban development in the North West Growth Centre, the South West Growth Centre and the Wilton Priority Growth Area b. to enable the Minister from time to time to designate land in growth centres as ready for release for development c. to provide for comprehensive planning for growth centres d. to enable the establishment of vibrant, sustainable and liveable neighbourhoods that provide for community well-being and high quality local amenity e. to provide controls for the sustainability of land in growth centres that has conservation value f. to provide for the orderly and economic provision of infrastructure in and to growth centres g. to provide development controls in order to protect the health of the waterways in growth centres h. to protect and enhance land with natural and cultural heritage value i. i) to provide land use and development controls that will contribute to the conservation of biodiversity. 		The proposal is consistent with these aims.
Part 4 Development controls – general		
Cl. 18 Water recycling and conservation	Sydney Water's <i>Growth Servicing Plan July 2014 to June 2019</i> indicates that developers are responsible for funding and delivering all reticulation works as part of the Section 73 compliance certificate process. This includes any recycled water reticulation works for schemes regulated by the Independent Pricing and Regulatory Tribunal (IPART). Recycled water will therefore be dealt with at the Section 73 certificate stage.	Yes, subject to conditions.
Part 7 Development controls – cultural heritage landscape area		
Cl.19 Development on flood prone and major creeks land—additional heads of consideration	<p>N/A the site is not flood prone.</p> <p>The eastern portion of the site is identified as containing Second Ponds Creek. The works the subject of this application are a distance of more than 40 m from Second Ponds Creek, and therefore this application is not required to obtain General Terms of Approval from the NSW Department of Industry - Water.</p> <p>This application has been assessed by Council's Engineers and is supported, subject to conditions of consent.</p>	Satisfactory
Cl. 25-26 Cultural heritage landscape area	<p>The Application is accompanied by an Aboriginal Heritage Due Diligence report prepared by Extent Heritage Advisors.</p> <p>The report states that the western and central parts of the site are subject to a high level of previous disturbance from historical land use and have a low potential for Aboriginal objects, sites or deposits. This predominantly relates to Lots 1 and 2 of this site.</p>	Yes, subject to recommended conditions.

SEPP requirement		Complies
	<p>The eastern portion of the site (west of the dam wall) has a moderate to high potential for Aboriginal objects to occur and require an Aboriginal Cultural Heritage Assessment Report (ACHAR) to be prepared for this area prior to works commencing. This predominantly relates to Lots 5 and 6 of this site.</p> <p>Conditions will be imposed requiring the recommendations of this report to be undertaken, as discussed above. Conditions will also be imposed requiring that if any further Aboriginal objects are unearthed during works, that the activities cease and the Office of Environment and Heritage be advised.</p>	

8.2 Controls within Appendix 6 – Cudgegong Road (Area 20) Precinct Plan 2011 of the Growth Centres SEPP

SEPP requirement		Complies
1.2 Aims of Precinct Plan		
	<ul style="list-style-type: none"> a. to make development controls for land in the Area 20 Precinct within the North West Growth Centre that will ensure the creation of quality environments and good design outcomes, b. to protect and enhance the environmentally sensitive natural areas in, and the cultural heritage of, the Precinct, c. to provide for recreational opportunities within the Precinct, d. to provide for multifunctional and innovative development in the Precinct that encourages employment and economic growth, e. to promote housing choice and affordability in the Precinct, f. to provide for the sustainable development of the Precinct, g. (g) to promote pedestrian and vehicle connectivity with adjoining Precincts and localities and within the Precinct. 	The proposal is consistent with the Aims of the Precinct Plan.
Part 2 Permitted or prohibited development		
Objectives of zone	<ul style="list-style-type: none"> a. To provide for the housing needs of the community within a medium density residential environment. b. To provide a variety of housing types within a medium density residential environment. c. To enable other land uses that provide facilities or services to meet the day to day needs of residents. d. To support the well-being of the community by enabling educational, recreational, community, religious and other activities where compatible with the amenity of a medium density residential environment. 	The proposal is consistent with the objectives of the zone.
2.1 Zoning and Land use tables R3 Medium Density Residential zone	Residential flat buildings and multi dwelling houses are both permissible forms of development with consent in the R3 Medium Density Residential zone.	Noted.

SEPP requirement		Complies
2.6 Subdivision	Subdivision of this site was approved in DA-17-02743. The approved staged subdivision plans are at attachment 9 .	Yes
2.6A Demolition	Demolition was approved in DA-17-02741.	Yes
Part 4 Principal development standards		
4.1AB Cl. (9a) - Min. lot size for RFB in R3 zone	N/A. No minimum lot size.	N/A
4.1B Residential density Minimum 45 dwellings per hectare	The proposal is for 711 apartments, which equates to approximately 173 dwellings per hectare, achieving the minimum recommended residential density.	Yes
4.3 Height of buildings 26 m	<p>The proposed development has a maximum height of 33.1 m, measured from the existing ground level to the highest point of the lift overrun of Building D on 56 Cudgegong Road. The proposal also has minor point encroachments for lift overruns and feature roof elements.</p> <p>The proposed overall building height and extent of variation for each building is as follows:</p> <p>44 - Building A - 27.2m (4.6%), Building B 26.65 (2.5%), Building C 28.96 (11%), Building D 32.8 (26.5%) and Building E 8.0m (-69%).</p> <p>56 - Building A - 29.34 (12.8%), Building B 30.06 (15.6%), Building C 27.71m (6.6%), Building D 30.6 (6.6%) and Building E 33.1 (27.3%).</p> <p>Due to the topography of the site, which equates to a total fall of 16.3 m, the reduced level (RL) of the maximum height of the two 10 storey buildings on the eastern edge of the site will be lower than the maximum height of the western buildings adjoining Cudgegong Road. As a result of the topography, the perceived height of the buildings as viewed from Cudgegong Road and the surrounding areas will be reduced. A range of different materials and aesthetics have been applied to buildings across the site to provide further visual interest and to break up the bulk and scale of the built form.</p>	<p>No. On its own, the Applicant's Clause 4.6 request to vary this development standard is insufficient to address the proposed height breach.</p> <p>To support the Clause 4.6 request, provide certainty in relation to the planning outcomes for the site and surrounding area, and to ensure that any further development on this site will not result in further building height, massing and density, we consider the Applicant's offer to enter into a Voluntary Planning Agreement to enforce maximum building height levels on the site to be an appropriate outcome.</p> <p>Refer to Section 7 of the Assessment Report for further details.</p>

SEPP requirement			Complies
4.4 Floor space ratio (calculations to be in line with clause 4.5)	Maximum 1.75:1	The proposed development has a gross floor area (GFA) of 67,133m ² which results in a floor space ratio (FSR) of 1.748:1 across the R3 zoned land. The proposal complies with the prescribed 1.75:1 FSR development standard.	Yes
4.6 Exceptions to development standard	<p>A Clause 4.6 request to vary the development standard for height of buildings accompanies this application and states that strict compliance with the standards is unnecessary for the following reasons:</p> <ul style="list-style-type: none">• The objectives of the Growth Centres SEPP Building Height control are achieved notwithstanding the technical non-compliance.• The variation has been informed from a detailed site context analysis and design impact assessment. The proposal represents a design that has identified, on balance, the most appropriate development response for the site having regard to building separation and solar access, as well as providing a variety of built form and housing diversity in the Precinct. The site has a consistent and significant fall from the west to the east, requiring a substantial amount of 'stepping' of the built form to stay within the prescribed height limit. The buildings have been designed to reflect the topography of the land, with minor exceedances at building edges and lift overruns.• The proposed heights will not undermine the Height of Building development standard or create an undesirable precedent.• The redistribution of building mass will significantly improve the amenity of dwellings on the site by:<ul style="list-style-type: none">– Providing significantly greater building separation from Levels 3 and above.– Allowing greater solar access to Building D and the communal open space on 44 Cudgegong Road.• Locating the highest buildings on the lowest portion of the site, adjacent to the riparian corridor, mitigates the visual impact of the height exceedance as the buildings will have a limited interface with surrounding development and public spaces.		<p>On its own, the Clause 4.6 request is considered insufficient to address the proposed height breach.</p> <p>To support the Clause 4.6 and to provide certainty that any further development on this site will not result in further building height, massing and density, we consider the Applicant's offer to enter into a Voluntary Planning Agreement to enforce maximum building height levels on the site to be an appropriate outcome. Refer to Section 7 of the Assessment report for further details.</p>
Part 5 Miscellaneous provisions			
5.1 Relevant acquisition authority	Council is the acquisition authority for the eastern portion of the site zoned RE1 Public Recreation. The works the subject of this application are clear of the acquisition area, which is approved as a residue lot in the approved development application for subdivision for this site (approved in DA-17-02743.)		Yes
5.6 Architectural roof features	N/A		Yes

SEPP requirement		Complies
5.9 Preservation of trees or vegetation	<p>The application is accompanied by an Arboricultural Impact Assessment by Redgum Horticultural which considers 54 existing trees on the site and recommends all trees for removal in the location of the proposed new local roads and within the residential development lots, being 35 trees. The report identifies 19 trees within the RE1 Public Recreation zoned land on the eastern side of the site to be retained. This includes 3 existing trees located at the north-eastern corner of the site in the vicinity of the proposed new local road which are also proposed to be retained, as demonstrated on the Trees to be Retained / Removed Plan (Drawing Number SKC12).</p> <p>Due to the extent of works required to achieve the appropriate road and stormwater levels, the retention and protection of these 3 trees is difficult. During the detailed design stage of this development, the Applicant has offered to undertake works in a manner which will enable the retention of these 3 trees. This is due to the majority of the root structure of the trees being in the top 1 metre of soil and the level change would be too great, being fill ranging from 200 mm to 900 mm.</p> <p>A condition of consent is recommended to require the retention of these 3 trees where possible, or for replacement trees to be planted.</p>	Yes. Conditions to be imposed to retain and protect the existing vegetation in the RE1 Public Recreation zoned land.
5.10 Heritage conservation	N/A	N/A
Part 6 Additional local provisions		
6.1 Public utility infrastructure	The Applicant states that the site is capable of being adequately serviced with connections for public utility infrastructure. The application was referred to Endeavour Energy and the proposal is acceptable subject to conditions. Conditions will be imposed requiring public utility infrastructure to be provided.	Yes
6.4 and 6.5 Native vegetation	The south-eastern portion of the site is identified as existing native vegetation and native vegetation retention area. No works are proposed in these affected areas, therefore, clearing of native vegetation does not occur as a result of this proposal.	Yes

9 Central City District Plan 2018

Whilst the Environmental Planning and Assessment Act 1979 does not require consideration of District Plans in the assessment of Development Applications, an assessment of the Central City District Plan has been undertaken.

Outlined below is where the Development Application is consistent with the overarching planning priorities of the Central City District Plan:

Liveability

- Improving housing choice
- Improving housing diversity and affordability
- Improving access to jobs and services
- Creating great places
- Contributing to the provision of services to meet communities' changing needs.

10 Blacktown City Council Growth Centre Precincts Development Control Plan 2018 (Growth Centres DCP)

The Growth Centres DCP applies to the site. The table below outlines the proposal's compliance with the controls established in the DCP.

10.1. Part 2.0 – Precinct Planning Outcomes (from main body of DCP)

DCP requirement		Proposal	Complies
2.2 Indicative layout plan	DA is to be generally in accordance with ILP.	The proposal varies from the ILP by deleting an east-west road through the middle of the site. This variation was approved in Subdivision DA-17-02743.	Yes
2.3 Subdivision site analysis	The following clauses must be addressed:		
2.3.1 Flooding and water cycle management	<p>No residential allotments are to be located at a level lower than the 1% Annual Exceedance Probability (AEP) flood level plus a freeboard of 500mm (i.e. within the 'flood planning area').</p> <p>Stormwater is to be managed primarily through the street network in accordance with Council's Water Sensitive Urban Design Development Control Plan.</p> <p>Roads are generally to be located above the 1% AEP level.</p>	<p>The 1% AEP flood level adjacent to the site is calculated to be in the order of RL 45.15. The ground floor level of all buildings across the site will have a minimum level of RL 49.1, which is well in excess of the 500 mm freeboard.</p> <p>All roads are located above the 1% AEP level, having a low point of approximately RL 47.6.</p> <p>The proposed civil plans demonstrate the effective integration of levels with the adjoining residential subdivisions, including associated road levels.</p>	Yes
2.3.2 Salinity and soil management	<p>Land within areas of potential salinity and soil aggressivity risk must be accompanied by a salinity report. A qualified person is to certify the project upon completion of the works.</p> <p>The Salinity Management Plan is to be in accordance with Appendix C of the DCP. All works are to comply with the plan.</p>	<p>The site has a high and very high level of salinity potential according to the DCP.</p> <p>With regard to 44 Cudgegong Road, the application is accompanied by a Salinity Investigation prepared by Ground Technologies which states that the soils are predominantly non-saline, non-aggressive to both steel and concrete, and that a Salinity Management Plan is not required.</p> <p>With regard to 56 Cudgegong Road, the application is accompanied by a Phase 1 Preliminary Land and Contamination and Salinity Assessment reported by WSP Buildings Australia Pty Ltd which states that soils at the western portion of the site are non-saline, and the soils at the eastern portion of the site are slightly to moderately saline. The salinity potential of the site could change to high with the proposed development as salinity levels generally increase with depth and are likely to increase in the upper soil profile should the groundwater levels</p>	Yes, subject to conditions.

DCP requirement		Proposal	Complies
		rise. Therefore, a Salinity Management Plan is required. This will be imposed as a condition.	
2.3.3 Aboriginal and European heritage	Are there any areas of Aboriginal heritage value within or adjoining the site, and is the site identified on the European cultural heritage sites figure? If so, a report is required from a qualified consultant.	<p>The Application is accompanied by an Aboriginal Heritage Due Diligence report prepared by Extent Heritage Advisors.</p> <p>The report states that the western and central parts of the site are subject to a high level of previous disturbance from historical land use and has a low potential for Aboriginal objects, sites or deposits. This predominantly relates to Lots 1 and 2 of this site.</p> <p>The eastern portion of the site (west of the dam wall) has a moderate to high potential for Aboriginal objects to occur and required an Aboriginal Cultural Heritage Assessment Report (ACHAR) to be prepared for this area prior to works commencing. This predominantly relates to Lots 5 and 6 of this site.</p> <p>Conditions will be imposed arising from the reports' recommendations.</p>	Yes, subject to conditions.
2.3.4 Native vegetation and ecology	<p>Native trees/vegetation to be retained where possible.</p> <p>Is the site identified on the Riparian Protection Area figure? If so, native vegetation to be managed in accordance with Appendix B of the DCP.</p> <p>Does the site adjoin land zoned E2?</p> <p>A landscape plan is to be submitted with the DA. Trees to be selected from Appendix D of the DCP.</p>	<p>19 trees at the eastern portion of the site are proposed to be retained.</p> <p>The proposed works are clear of the Riparian Protection Area.</p> <p>The site does not adjoin land zoned E2 Environmental Conservation.</p> <p>The proposed landscape concept plans reflect the natural bushland and creek corridor to the west of the site, while providing an urban edge to the character of open spaces within the central part of the site.</p> <p>The landscape concept plans include a myriad of landscaped areas incorporating through-site connections and open spaces to provide residents of each building with easy access and a variety of different environments. The development delivers direct access to the proposed shared pedestrian cycle links along the creek corridor and the regional sports fields located directly to the north-east of the site.</p>	<p>Yes</p> <p>N/A</p> <p>N/A</p> <p>Yes</p>

DCP requirement		Proposal	Complies
2.3.5 Bushfire hazard management	Development is to be consistent with Planning for Bushfire Protection 2006.	The subject site is not located on bushfire prone land.	N/A
2.3.6 Site contamination	All subdivision DAs to be accompanied by a Stage 1 Preliminary Site Investigation. Where required a Stage 2 investigation is to be carried out.	<p>With regard to 44 Cudgegong Road, the application is accompanied by a Stage 1 Contamination Assessment reported by Ground Technologies, and a Phase 2 Environmental Site Assessment prepared by JBS&G due to the presence of imported fill material.</p> <p>With regard to 56 Cudgegong Road, the application is accompanied by a Phase 1 Preliminary Land and Contamination and Salinity Assessment reported by WSP Buildings Australia Pty Ltd which identified there is potential for current and historical activities to have caused localised contamination at the site including the storage of machinery and scrap, areas of market gardening, fill materials in mounds and the dam wall and dam sediments.</p> <p>A Phase 2 Environmental Site Assessment prepared by JBS&G Australia Pty Ltd was submitted.</p> <p>The application is also accompanied by a Pre-Demolition Hazardous Materials Survey prepared by JBS&G Australia Pty Ltd which identifies the locations and types of hazardous materials at the site, and provides recommendations for their removal including asbestos, lead containing dust, synthetic mineral fibres and polychlorinated biphenyls.</p> <p>These reports have been reviewed by our Environmental Health Officer who advised that the contamination can be treated and the site can be made suitable for residential use. The further investigation can be satisfied as a condition of consent, with the associated remediation action plan (RAP), if required.</p>	Yes, subject to conditions.
2.3.7 Odour assessment and control	Is the site adjacent to odour generating activities and is a buffer or additional supporting information required.	<p>The site is not adjacent to odour generating activities.</p> <p>The proposed residential development is in keeping with the zoning objectives of the SEPP, and is not considered to be adversely affected by the risk of odour.</p>	Yes

10.2 Part 4.0 – Development in the Residential Zones (from main body of DCP)

10.2.1 Specific residential flat building controls

DCP requirement		Proposal	Complies
Key controls for residential flat buildings (Table 4-10)			
Site coverage	Max. 50%	37% site coverage is proposed, excluding the roads from calculations.	Yes
Landscaped area	Min. 30% of site area	31% landscaped area is proposed.	Yes
Communal open space	15% of site area	32% communal open space is proposed.	Yes
Principal private open space (PPOS)	Minimum 10 m ² per dwelling Minimum dimension of 2.5 m	Private open spaces of the development comply with SEPP 65 and the ADG, which take precedence over this control.	N/A
Front setback	Minimum 6 m Balconies and other articulation may encroach into setback to a maximum of 4.5 m from the boundary for the first 3 levels, and for a maximum of 50% of the façade length.	<p>The proposal complies with this control, with the exception of levels 4 and above (being up to 7 levels of the buildings) which comprise private balconies and architectural design features which encroach into the minimum required building setback of 6 m. These elements have a setback of only 4.5 m.</p> <p>The Applicant has justified the departure from this control stating that the aims and objectives of the DCP are satisfied for the following reasons:</p> <ul style="list-style-type: none"> • The proposed encroachments enable distinct architectural design features which complement the strong modern design of the buildings, and 'complete' the 8 storey building scale. • All internal floor areas are clear of the minimum required 6 m setback requirement. • The design offers an articulated streetscape presentation with defined street edges. • The proposal provides high quality entries to lobbies, foyers and ground floor courtyards. • Extensive landscaping to all setbacks creates a transition between the private and public domain, and upholds the desired landscaped character of the area. • As demonstrated in the accompanying Crime Prevention through Environmental Design, the proposal promotes passive 	No, but minor encroachments are supported in this instance.

DCP requirement		Proposal	Complies
		surveillance and outlook to the street.	
Corner lots secondary setback	Minimum 6 m	6 m to the walls of all habitable rooms. Some private balconies and architectural elements have a setback of only 4.5 m.	No, minor encroachments which are supported in this instance.
Side setback	Up to 3 storeys: minimum 3 m. Above 3 storeys: minimum 6 m.	This control relates to the southern side of Building A at 44 Cudgegong Road, which has a 6 metre side boundary setback to the adjoining property at 38 Cudgegong Road.	Yes
Rear setback	Minimum 6 m	This control relates to the setback from Cudgegong Road to Building A at 44 Cudgegong Road, which has a setback of over 22 m due to the Endeavour Energy easement along the western portion of the site.	Yes
Zero lot line	Not permitted	N/A	N/A
Habitable room/ balcony separation	Distance for buildings 3 storeys and above is a minimum of 12 m.	The proposal satisfies the building separation requirements of SEPP 65 and the ADG which takes precedence over this control.	N/A
Car parking • Residential	1 space per dwelling, plus 0.5 spaces per 3 or more bed dwelling. May be in a 'stack parking' configuration.	The car parking requirement is: <ul style="list-style-type: none"> Residents – 628 spaces Visitors – 143 spaces Total – 770 spaces. A total of 1,055 parking spaces are proposed, comprising: <ul style="list-style-type: none"> Residents – 845 Visitors – 176 Service bays – 10 Carwash bays – 24. The 'loss' of 40 on-street parking bays due to the deletion of the central east-west road will be offset by the surplus of 250 (32%) parking spaces.	Yes
Bicycle parking	1 space per 3 dwellings	A minimum of 235 bicycle parking spaces are required. 396 bicycle parking spaces are proposed, being a surplus of 161 bicycle parking spaces.	Yes
Garages and car parking dimensions	Covered: minimum 3 x 5.5 m Uncovered: minimum 2.5 x 5.2 m Aisle widths must comply with AS 2890.1	All car parking spaces and aisle widths within the basement car parking levels will comply with the minimum dimensions under AS2890.1.	Yes

DCP requirement		Proposal	Complies
Additional controls for certain dwelling types (section 4.3) (Sub section 4.3.5 Controls for residential flat buildings)			
Street frontage	Minimum 30 m	Complies.	Yes
Access	Direct frontage to street or public park	All residential flat buildings present to the public domain with the exception of Building E which is internally located in the site. This building is accessible via the internal principal communal open space which is substantial in size and comparable to a public park.	Yes
Amenity	Must not adversely impact upon the amenity (i.e. overshadowing, privacy or visual impact) of existing or future adjoining residential development.	The proposal does not impact on the ability of adjoining sites to achieve a suitable level of amenity. Detailed shadow analysis for this project informed the recent determination of the adjoining development on 38 Cudgegong Road in JRPP-15-02107.	Yes
SEPP 65	All RFBs are to be consistent with the guidelines and principles outlined in SEPP 65.	Refer to SEPP 65 and ADG Assessment above.	Noted
Adaptable housing	Min 10% of dwellings (where 10 or more proposed). Designed in accordance with the Australian Adaptable Housing Standard (AS 4299-1995) Preferably on ground floor or access via a lift, including access to basement. DA to be accompanied by certification from an accredited Access Consultant confirming that the adaptable dwellings are capable of being modified, when required by the occupant, to comply with the Australian Adaptable Housing Standard (AS 4299-1995).	10% of apartments are capable of adaptation.	Yes
Accessible parking	Car parking and garages to comply with the requirements of AS for disabled parking spaces.	The proposal provides car parking spaces and accessibility in accordance with the relevant Australian Standards.	Yes

10.2.2 Controls for all residential development

DCP requirement		Proposal	Complies
Site Responsive Design (Section 4.1)			
4.1.1 Site analysis	Site Analysis Plan to be provided.	Provided	Yes

DCP requirement		Proposal	Complies
4.1.2 Cut and fill	Maximum 500 mm cut/fill. Validation Report for imported fill. Where cut on the boundary, retaining walls must be integrated with its construction, otherwise minimum 450 mm from boundary. Maximum 600 mm high walls. Maximum 1,200 mm combined wall height. Minimum 0.5 m between each step.	The proposed cut and fill on the site would exceed 500 mm to accommodate the gradual fall of the land without an excessive amount of stepping. The proposal follows the slope of the site and results in minimal cut and fill. The finished levels suitably integrate with the existing / approved / anticipated finished levels of the new public roads and adjoining sites, including the future public reserves to the north and east of the site.	Yes
4.1.3 Sustainable building design	BASIX Certificate. Indigenous species to make up more than 50% of plant mix on landscape plan. Plant species to be selected from Appendix D. Outdoor clothes lines and drying areas required.	BASIX reports have been prepared and submitted with the application. An appropriate mix of indigenous plant species is proposed. Plant species are consistent with the DCP requirements. Appropriate drying facilities are provided for each dwelling.	Yes
4.1.4 Salinity, sodicity and aggressivity	To comply with Salinity Management Plan developed at subdivision phase.	Refer to discussion above regarding Section 2.3.2.	Yes

10.2.3 Schedule 4 – Area 20 (Precinct Specific Controls)

Control	Comment
Figure 2.1 – Precinct Indicative Layout Plan	The proposal varies from the ILP, and has been approved in the Development Application for subdivision: DA-17-02743. In lieu of the loss of 40 potential on-street car parking spaces that would have been provided by the deleted east-west ILP road, the proposal provides a surplus of 174 basement car parking spaces.
Figure 2.2 – Aboriginal Cultural Heritage Sites	The Application is accompanied by an Aboriginal Heritage Due Diligence report prepared by Extent Heritage Advisors. The report states that the western and central parts of the site are subject to a high level of previous disturbance from historical land use and have a low potential for Aboriginal objects, sites or deposits. This predominantly relates to Lots 1 and 2 of this site. The eastern portion of the site (west of the dam wall) has a moderate to high potential for Aboriginal objects to occur and require an Aboriginal Cultural Heritage Assessment Report (ACHAR) to be prepared for this area prior to works commencing. This predominantly relates to Lots 5 and 6 of this site. Conditions will be imposed requiring the recommendations of this report to be undertaken. Conditions will also be imposed requiring that if any further Aboriginal objects are unearthed during works, that the activities cease and the Office of Environment and Heritage be advised.

Control	Comment
Figure 2.3 - Second Ponds Creek - Flood Prone Land and Riparian Corridor	The eastern portion of the site is identified as containing Second Ponds Creek. This application has been assessed by our Engineers and NSW Department of Industry – Lands and Water and is supported, subject to conditions.
Figure 2.4 - Salinity Potential	The site is identified as having a high and very high salinity potential. The recommendations of the salinity assessment reports will be imposed by conditions of consent.
Figure 3.1 - Precinct Road Hierarchy	The proposal is consistent with the precinct road hierarchy. All roads are ‘other local streets’.
Figure 3.2 - Public Transport Network	Cudgegong Road is a bus route. The proposal is consistent with the public transport network.
Figure 3.2 - Pedestrian and Cycle Network	The proposal is consistent with the pedestrian and cycle network. A secondary shared route is provided along the northern boundary.
Figure 3.4 - Additional Public Domain and Landscaping Provisions	The proposal is consistent with these provisions, as set out in the proposed landscaping plans.
Figure 3.5 - Section B – Landscape Buffer to Collector Road	The 5 m landscaped setback is required to be located on the south side of the collector road. Cudgegong Road is a collector road. However, given its north-south orientation, it does not have a ‘south side’ of the street. Therefore, this control is not relevant in this instance.
Figure 3.6 – Section C - Landscape Buffer to Local Road	An appropriate landscape treatment is proposed to all local roads, as demonstrated in the landscape masterplan.
Area 20 Precinct Public Domain and Landscape Strategy	The proposal is consistent with this strategy. With regard to Section 3.2 View Corridors, the site is not contained within the views from the Rouse Hill House Estate. The site is not directly visible from Rouse Hill House Estate as it is blocked by the existing local tree canopy.

Clause 4.6 – Exceptions to Development Standards

The developable area of the site is subject to a height of buildings development standard of 26 metres. Under Growth Centres SEPP:

***building height (or height of building)** means the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.*

The proposed development would have a maximum height of 33.1 metres, measured from the highest point of the lift overrun of Building D on 56 Cudgegong Road to the existing ground level directly below. The proposal also has minor height exceedances primarily for lift overruns and feature roof elements.

A summary of the proposed maximum heights, and the percentage exceedance, is provided in the following table:

Table 4 – Maximum Building Heights

Property	Building A	Building B	Building C	Building D	Building E
44 Cudgegong Road	27.2m (4.6%)	26.65m (2.5%)	28.96m (11%)	32.9m (26.5%)	8.0m (-69%)
56 Cudgegong Road	29.34m (12.8%)	30.06m (15.6%)	27.71m (6.6%)	30.6m (6.6%)	33.1m (27.3%)

Clause 4.6(3) of Growth Centres SEPP states that development may contravene a development standard if a written request has justified the contravention of the development standard by demonstrating:

- (a) *that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
- (b) *that there are sufficient environmental planning grounds to justify contravening the development standard.*

The consent authority must also consider:

- (a) *whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and*
- (b) *the public benefit of maintaining the development standard, and*
- (c) *any other matters required to be taken into consideration by the Director-General before granting concurrence.*

This Section forms a Clause 4.6 written request to vary the Building Height control. Strict compliance with Clause 4.3 is considered unnecessary in the circumstances for the following reasons:

- The objectives of the Growth Centres SEPP Building Height control are achieved notwithstanding the technical non-compliance.
- The objectives of the R3 Medium Density Residential zone are achieved notwithstanding the technical non-compliance.
- The proposal complies with applicable planning policy provisions
- There are sufficient environmental planning grounds to support the proposed variation.

Each issue is addressed in the following sections. The assessment of the proposed variation has been undertaken in accordance with the requirements of the Growth Centres SEPP, Clause 4.6 Exceptions to Development Standards.

NSW Land and Environment Court Case Law

Several key Land and Environment Court (NSW LEC) judgements have refined the manner in which variations to development standards are required to be approached. The key findings and directions of each of these matters are outlined in the following discussion.

***Winten v North Sydney Council* [2001] NSWLEC 46**

The decision of Justice Lloyd in *Winten v North Sydney Council* established the basis on which the former Department of Planning and Infrastructure's Guidelines for varying development standards was formulated. Initially this applied to *State Environmental Planning Policy – Development Standards* (SEPP 1) and was subsequently updated to address Clause 4.6 of the *Standard Instrument templates*.

The principles for assessment and determination of applications to vary development standards are relevant and include the following five questions:

1. Is the planning control in question a development standard?
2. What is the underlying objective or purpose of the standard?
3. Is compliance with the development standard consistent with the aims of the Policy, and in particular does compliance with the development standard tend to hinder the attainment of the objects specified in section 5(a)(i) and (ii) of the EP&A Act?
4. Is compliance with the development standard unreasonable or unnecessary in the circumstances of the case (and is a development which complies with the development standard unreasonable or unnecessary in the circumstances of the case)?
5. Is the objection well founded?

***Wehbe V Pittwater* [2007] NSW LEC 827**

The decision of Justice Preston in *Wehbe V Pittwater* [2007] NSW LEC 827 expanded on the findings in *Winten v North Sydney Council* and established the five (5) part test to determine whether compliance with a development standard is unreasonable or unnecessary considering the following questions:

1. Would the proposal, despite numerical non-compliance be consistent with the relevant environmental or planning objectives;

2. Is the underlying objective or purpose of the standard not relevant to the development thereby making compliance with any such development standard is unnecessary;
3. Would the underlying objective or purpose be defeated or thwarted were compliance required, making compliance with any such development standard unreasonable;
4. Has Council by its own actions, abandoned or destroyed the development standard, by granting consents that depart from the standard, making compliance with the development standard by others both unnecessary and unreasonable; or
5. Is the “zoning of particular land” unreasonable or inappropriate so that a development standard appropriate for that zoning was also unreasonable and unnecessary as it applied to that land. Consequently compliance with that development standard is unnecessary and unreasonable.

Four2Five Pty Ltd v Ashfield Council [2015] NSW LEC

More recently in the matter of *Four2Five Pty Ltd v Ashfield Council* [2015] NSW LEC, initially heard by Commissioner Pearson, upheld on appeal by Justice Pain, it was found that an application under Clause 4.6 to vary a development standard must go beyond the five (5) part test of *Wehbe v Pittwater* [2007] NSW LEC 827 and demonstrate the following:

1. Compliance with the particular requirements of Clause 4.6, with particular regard to the provisions of subclauses (3) and (4) of the LEP; and
2. That there are sufficient environment planning grounds, particular to the circumstances of the proposed development (as opposed to general planning grounds that may apply to any similar development occurring on the site or within its vicinity);
3. That maintenance of the development standard is unreasonable and unnecessary on the basis of planning merit that goes beyond the consideration of consistency with the objectives of the development standard and/or the land use zone in which the site occurs.

Bates Smart Pty Ltd v Council of the City of Sydney [2014] NSWLEC 1001

In *Bates Smart Pty Ltd v Council of the City of Sydney*, Commissioner Brown outlined that Clause 4.6 imposes four preconditions on the Court in exercising the power to grant consent to the proposed development:

1. The first precondition (and not necessarily in the order in cl 4.6) requires the Court to be satisfied that the proposed development will be consistent with the objectives of the zone (cl 4.6(4)(a)(ii)),
2. The second precondition requires the Court to be satisfied that the proposed development standard is unreasonable or unnecessary in the circumstances of the case and with the Court finding that the matters required to be demonstrated have been adequately addressed (cl 4.6(4)(a)(ii)),
3. The third precondition requires the Court to consider a written request that demonstrates that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case and with the Court finding that the matters required to be demonstrated have been adequately addressed (cl 4.6(3)(a)) and cl 4.6(4)(a)(i)), and
4. The fourth precondition requires the Court to consider a written request that demonstrates that there are sufficient environmental planning grounds to justify contravening the development standard and with the Court finding that the matters required to be demonstrated have been adequately addressed (cl 4.6(3)(b) and cl 4.6(4)(a)(i)).

Planning Assessment Framework

The following section addresses the local provisions of Clause 4.6 of Growth Centres SEPP together with principles of *Winten v North Sydney Council* as expanded by the five-part test established by *Wehbe v Pittwater* and refined by the judgement of *Four2Five Pty Ltd v Ashfield Council*.

Is the planning control in question a development standard?

The planning control in question is Clause 4.3 of Appendix 6 of the Growth Centres SEPP. The planning control, as a numerical control, is a development standard capable of being varied under the provisions of Clause 4.6 of the Growth Centres SEPP.

What is the underlying objective or purpose of the standard?

The objectives for the development standard provided at Subclause 4.3(1) are set out in **Table 5** below with an assessment of the proposal's consistency provided:

Table 5 – Growth Centres SEPP Height Control Objectives

Objective	Assessment
(a) to establish the maximum height of buildings on land within the Area 20 Precinct	<p>The variation has been informed from a detailed site context analysis and design impact assessment. The proposal represents a design that has identified, on balance, the most appropriate development response for the site having regard to building separation and solar access, as well as providing a variety of built form and housing diversity in the Precinct.</p> <p>The site has a consistent and significant fall from the west to the east, requiring a substantial amount of 'stepping' of the built form to stay within the prescribed height limit. The buildings have been designed to reflect the topography of the land, with minor exceedances at building edges and lift overruns.</p> <p>The proposed heights will not undermine the height of building development standard or create an undesirable precedent.</p>
(b) to minimise visual impact and protect the amenity of adjoining development and land in terms of solar access to buildings and open space	<p>The redistribution of building mass from the will significantly improve the amenity of dwellings on the site by:</p> <ul style="list-style-type: none"> ▪ Providing significantly greater building separation from Levels 3 and above. ▪ Allowing greater solar access to Building D and the communal open space on 44 Cudgegong Road. <p>Locating the highest buildings on the lowest portion of the site, adjacent to the riparian corridor, mitigates the visual impact of the height exceedance as the buildings will have a limited interface with surrounding development and public spaces.</p>
(c) to facilitate higher density development in and around commercial centres and major transport routes	<p>The subject site is located directly across the road from the Cudgegong Road Local Centre, which is envisaged to contain a variety of goods and services to the surrounding area.</p> <p>The site is also located approximately 100 metres from the Cudgegong Road Metro Station, which is currently under construction. The station design also includes bus zones for six buses to provide greater public transport connectivity.</p>

Is compliance with the development standard consistent with the aims of the Policy, and in particular does compliance with the development standard tend to hinder the attainment of the objects specified in section 5(a)(i) and (ii) of the EP&A Act?

The proposal satisfies the applicable R3 Medium Density Residential zone objectives for the reasons outlined in **Table 6** below.

Table 6 – R3 Medium Density Residential Zone Objectives

Objective	Assessment
<i>To provide for the housing needs of the community within a medium density residential environment.</i>	The proposal will provide housing for the community in a medium density residential scale and will integrated with the surrounding area.
<i>To provide a variety of housing types within a medium density residential environment.</i>	The proposal includes a variety of housing types with 1, 2 and 3 bedroom options provided with a mix of layouts. In particular, the redistribution of building mass has resulted in a two-storey townhouse product which is not provided in proposals in the surrounding area.
<i>To enable other land uses that provide facilities or services to meet the day to day needs of residents.</i>	<p>The technical non-compliance will not impact on the ability for facilities and services to be provided in the area to meet the needs of residents.</p> <p>The proposal is consistent with the indicative layout plan by providing housing within close proximity to the Cudgegong Road local centre, while providing pedestrian and cycle connectivity and rehabilitating the Second Ponds Creek corridor.</p>
<i>To support the well-being of the community by enabling educational, recreational, community, religious and other activities where compatible with the amenity of a medium density residential environment.</i>	<p>The technical non-compliance will not impact on the proposal's support of educational, recreational, community and religious activities in the surrounding area.</p> <p>The proposal is in keeping with the indicative layout plan with regards to facilitating the acquisition of the RE1 zoned land by Council and promoting cycle and pedestrian activities.</p>

The objects in Section 5(a)(i) and (ii) of the Environmental Planning and Assessment Act 1979 are as follows:

- (a) *to encourage*
 - (i) *the proper management, development and conservation of natural and artificial resources, including agricultural land, natural area, forest, mineral, water, cities, towns and villages for the purpose of promoting the social and economic welfare of the community and a better environment,*
 - (ii) *the promotion and co-ordination of the orderly and economic use and development of land...*

Compliance with the height control hinders the attainment of Section 5(a)(i) as strict compliance would hinder the ability to provide superior amenity for residents of the development and adjoining property to the north and streetscape appearance.

Is compliance with the development standard unreasonable or unnecessary in the circumstances of the case?

Compliance with the development standard is considered unnecessary in this circumstance based on the following reasons:

- The proposal is consistent with the objectives of the development standard as provided in Clause 4.3 of the Growth Centres SEPP (refer to discussion in section above).
- The proposed variation would have a net benefit for the amenity of apartments and open space of dwellings in the subject and adjoining sites.
- The proposed height variation will not result in an unreasonable impact to the streetscape, as the building is located on the lowest point on the site and will align with the RL of Building B. The redistribution of building mass will improve the streetscape along the northern road by reducing the scale of development immediately abutting the road.
- The non-compliance will not result in additional floor space across the site.

Taking into account the above, the particular circumstances of this application warrant a variation of the development standard.

Is the development standard a performance based control?

No. The development standard is not a performance based control.

Are there sufficient environmental planning grounds to justify contravening the development standard?

The built form, height and scale of the proposed development has been resolved by a thorough evaluation of the site's surrounding context, with an emphasis on excellent amenity for future residents. The proposed built form is considered to have a superior environmental planning outcome based on the following key areas:

- Solar access;
- Building separation; and
- Streetscape appearance.

Each of these matters are discussed in the following subsections.

Solar Access and Overshadowing

The increase in height of the eastern, 10-storey buildings is a result of a redistribution of building mass from Building E on 44 Cudgegong Road and Building B2 on 56 Cudgegong Road to maximise the amenity to residents within the development by allowing significantly greater solar access to lower level apartments in other buildings as well as the internal communal open spaces. The redistribution will not result in any additional floor area, with the proposal remaining compliant with the FSR development standard.

Figure 16 and **Figure 17** below illustrates where the building mass has been redistributed on 44 Cudgegong Road from above Building E (shaded red) to Building D (shaded green). A similar methodology is adopted from Building B2 to Building E on 56 Cudgegong Road.

Figure 16 – Building Mass Redistribution Diagram 1



Figure 17 – Building Mass Redistribution Diagram 2

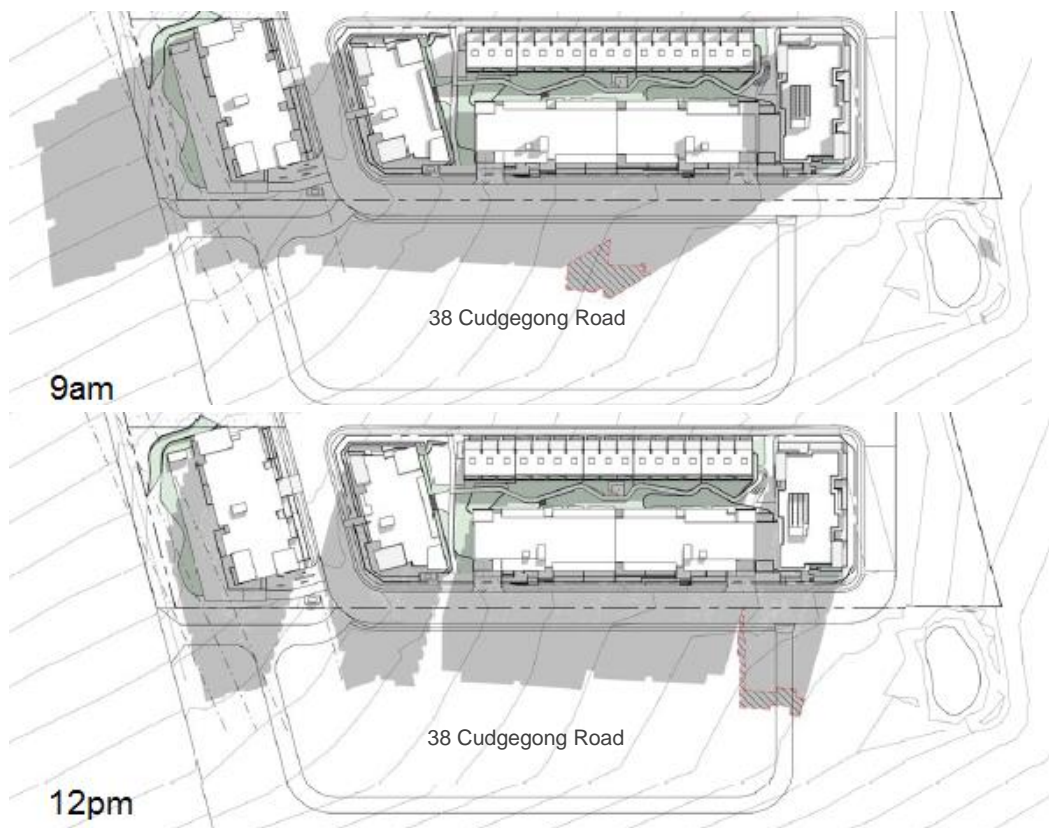


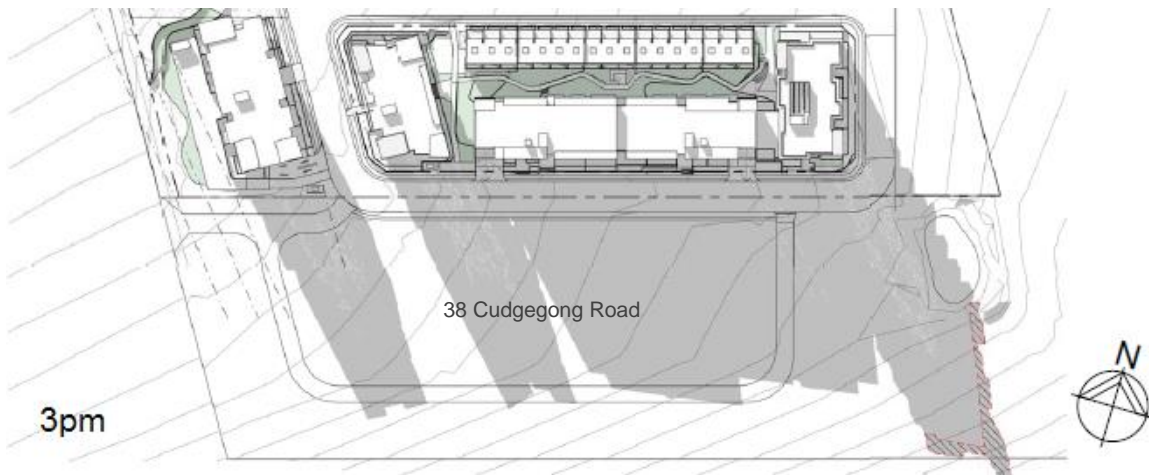
Shadow diagrams have been prepared to illustrate and analyse the shadows cast by the proposed development, including what impact the additional heights above 26 metres will have.

Building D on 44 Cudgegong Road is located on the eastern-most portion of the R3 zoned land of the site. As a result, the shadows cast by the additional height will only extend over the adjoining site to the south during the early hours of the morning. The additional shadows cast by Building E on 56 Cudgegong Road will not cover the adjoining property at 38 Cudgegong Road at any hours of the day, mid-winter.

The lift overruns which exceed the height development standard will not cause any additional shadows due to the overruns being recessed from the edge of the buildings.

Figure 18 – Overshadowing Impacts of Additional Height

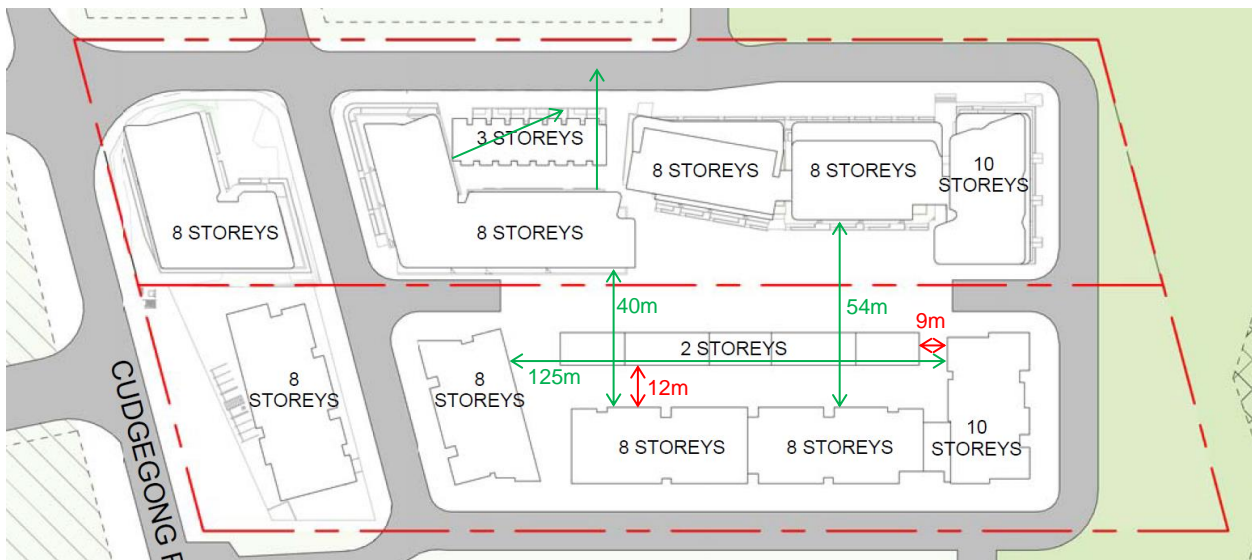




Building Separation

The reduction in scale of Building E on 44 Cudgegong Road also improves the amenity of residents in Levels 3 and 4 of Buildings B, C and D by significantly increasing building separation at these levels. Instead of 9 and 12 metres, the effective building separation from Building C north-facing units in buildings at 56 Cudgegong Road increases to 40-54 metres, with the separation from Building B to Building C increasing to 125 metres (see **Figure 19**).

Figure 19 – Building Separation Diagram



Streetscape Appearance

Due to the topography of the site, which equates to a total fall of 18.9 metres from the west to the east, the reduced level (RL) of the maximum height of the eastern 10-storey buildings will be lower than the maximum height of the buildings adjacent to Cudgegong Road and the eastern internal road. As a result of the topography, the perceivable height of the building from Cudgegong Road and the surrounding areas will be reduced.

Furthermore, the western buildings face the riparian corridor to the west of the site and will not have a detrimental impact to the streetscape of this area as they are isolated from surrounding development sites.

Figure 20 below demonstrates the degree of slope across the site and shows the maximum RL of Building A of 44 Cudgegong Road in red, with the 10-storey eastern building being below this height.

Figure 20 – Comparison of Building Heights



Is the objection well founded?

The proposed development does not result in any unreasonable or significant adverse environmental (social, economic or environmental) impacts. The technical non-compliance will not result in additional yield, and complies with the FSR development standard.

The development would:

- Provide a superior outcome to the amenity of residents by providing greater solar access and building separation;
- Reduce the need for a public road and provide greater communal open space;
- Vary the built form to avoid monotonous streetscape appearance; and
- Providing more variety of housing options in the area.

Would non-compliance raise any matter of significance for State or Regional Planning?

The non-compliance will not raise any matter of State or Regional Significance.

Is there a public benefit of maintaining the planning control standard?

Strict compliance with the planning control (i.e. not redistributing the building mass) would not have a public benefit based on the following:

- Additional height on Building E on 44 Cudgegong Road would reduce the solar access to apartments within Buildings B, C and D, as well as the communal open space.
- It would remove the two-storey townhouse housing product, reducing the housing diversity in the area.
- It would have a reduced building separation for apartments across the site.

Summary

The development proposes a maximum building height of 33.1 metres which exceeds the permissible height of building of 26 metres. This is a result of a redistribution of building mass from lower, townhouse-scale buildings to the eastern buildings to provide greater amenity for residents of the development and surrounding areas which will not result in any additional yield.

Taking into account the particular circumstances of this development, strict compliance with the numerical standard in this instance would be unnecessary owing to the following:

- The proposal provides greater amenity for residents in the subject with regards to solar access and building separation;
- The proposal provides greater housing diversity with a product not currently proposed in the surrounding area;
- The maximum height of the eastern buildings will not exceed the reduced level (RL) of adjacent to Cudgegong Road and the eastern internal road. As such, the perceivable height of the eastern buildings when viewed from Cudgegong Road and the surrounding areas will be reduced.
- The height exceedance would only have a minor impact on the adjoining property to the south, with a net overall benefit from the building mass redistribution; and

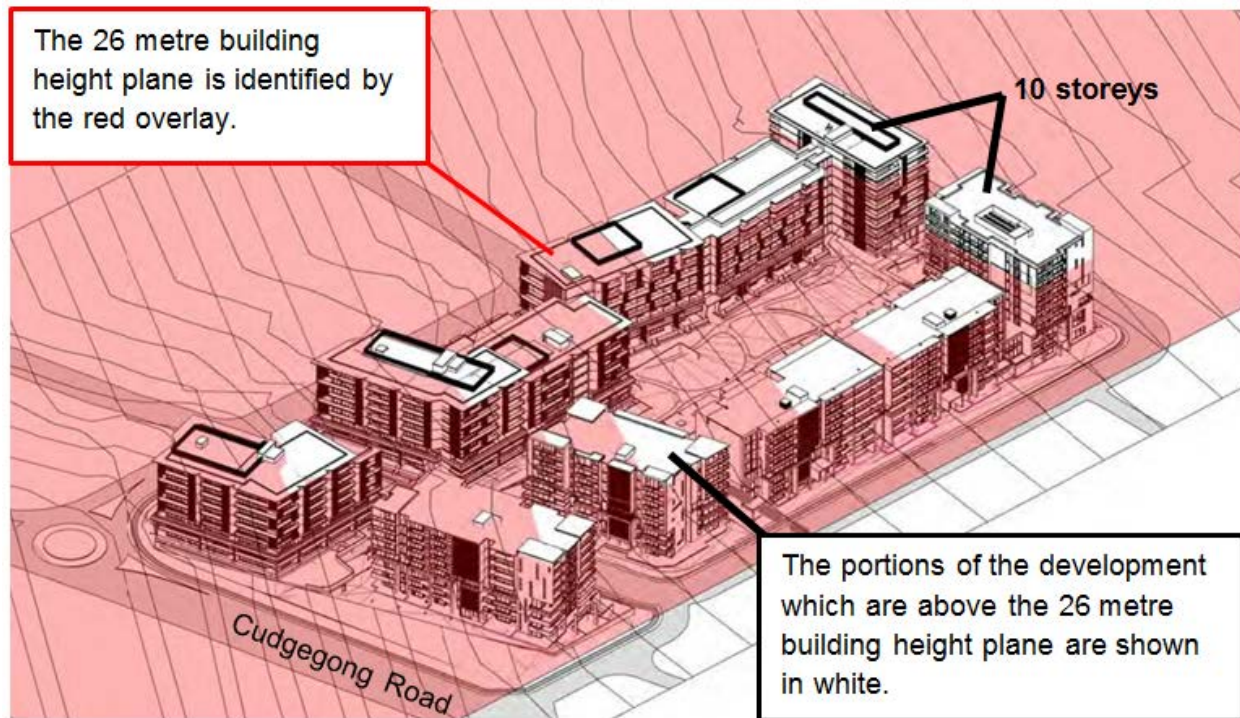
- The proposal generally complies with other provisions of the Growth Centres SEPP, SEPP 65 and the Priority Precincts DCP.

For these reasons, it is concluded that the proposed variation of the height control is well founded and the particular circumstances warrant flexibility in the application of the development standard.

Council assessment of Clause 4.6 request

Visual representation of height offset

The following figure identifies the portions of the development that exceed the height limit and the portions of the development that are below the height limit.



The following table also demonstrates the overall building height and extent of variation for each building:

Building	Number of storeys	Maximum RL	Maximum height	Height exceedance
44 Cudgegong Road:				
Building A	8 storeys	RL 83.85	27.2 m	1.2 m or 4.6%*
Building B	8 storeys	RL 81.85	26.65 m	0.65 m or 2.5%*
Building C	8 storeys	RL 79.15	28.96 m	2.96 m or 11.4%*
Building D	10 storeys	RL 82.60	32.8 m	6.8 m or 26.2%
Building E	2 storeys	RL 58.90	8 m	Complies
56 Cudgegong Road:				
Building A	8 storeys	RL 88.80	29.34 m	3.34 m or 12.8%
Building B	8 storeys	RL 85.00	30.06 m	4.06 m or 15.6%*
Building B2	3 storeys	RL 66.00	10 m	Complies
Building C	8 storeys	RL 79.20	27.71 m	1.71 m or 6.6% [@]

Building	Number of storeys	Maximum RL	Maximum height	Height exceedance
Building D	8 storeys	RL 78.00	30.6 m	4.6 m or 17.7%
Building E	10 storeys	RL 81.60	33.1 m	7.1 m or 27.3%

* = this height exceedance relates to point encroachments for stair and lift overrun structures, rooftop plant and equipment and the roofline.

@ = this height exceedance relates to part of the building only as a result of the existing slope of the site. Approximately 70% of the roofline of the footprint of this building is below the height plane, and the remaining 30% of the roofline is above the height plane.

5-part test assessment of Clause 4.6 variation request

1 The objectives of the standard are achieved notwithstanding non-compliance with the standard

Appendix 6 – Cudgegong Road (Area 20) Precinct Plan 2011 of State Environmental Planning Policy (Sydney Region Growth Centres) 2006	
Objectives of Clause 4.3 'Height of buildings'	How the proposal achieves the objective
a. To establish the maximum height of buildings on land within the Area 20 Precinct.	<p>The maximum height limit on the site is 26 m.</p> <p>Several buildings exceed the permissible height by up to 4.06 m (15.6%) for some portions of the stair and lift overrun structures, rooftop plant and equipment and the roofline (being up to 2.96 m or 11.4% for Buildings A, B and C of 44 Cudgegong Road and up to 4.06 m or 15.6 % for Building B of 56 Cudgegong Road).</p> <p>Several buildings exceed the permissible height ranging from 3.34 m to 7.1 m (27.3%) for some portions of the stair and lift overrun structures, rooftop plant and equipment, roofline and up to 2 storeys (being Buildings D of 44 Cudgegong Road and Buildings A, C, D and E of 56 Cudgegong Road).</p> <p>Building E of 44 Cudgegong Road and Building B2 of 56 Cudgegong Road are 2 and 3 storeys in height respectively, and are substantially lower than the building height limit.</p> <p>The maximum height of all buildings does not exceed RL 88.80, which is the height of Building A of 56 Cudgegong Road at the north-western corner of the site, being the crest of the site. All other proposed buildings are lower than this building, ranging from 3.8 m to 29.9 m due to the substantial cross fall of up to 16.3 m towards the south-eastern corner of the site.</p> <p>The increase in height does not impact on the density of the development. The proposal seeks to 'redistribute building mass' and create variation in the scale of the development, by providing 2, 3, 8 and 10 storeys buildings to create an improved Precinct outcome.</p> <p>This is an approach acceptable to Council officers in the past for development on sloping land, subject to a satisfactory design outcome and subject to a Voluntary Planning Agreement (VPA) that 'locks in' the approved variations – both higher and lower.</p>
b. To minimise visual impact and protect the amenity of adjoining development and land in terms of solar access to buildings and open space.	<p>The portions of the height exceedance which are attributed to the 8 storey buildings at the western and central parts of the site are minor relative to the overall height of the buildings and will not be visually perceptible.</p> <p>The 2 x 10 storey buildings at the eastern part of the site are positioned on the lowest part of the site which is surrounded by</p>

Appendix 6 – Cudgegong Road (Area 20) Precinct Plan 2011 of State Environmental Planning Policy (Sydney Region Growth Centres) 2006	
Objectives of Clause 4.3 'Height of buildings'	How the proposal achieves the objective
	<p>land zoned RE1 Public Recreation to its north, east and south. In this context, the 10 storey buildings are at least 6.2 m lower than the highest building at the north-western corner of the site.</p> <p>Therefore, the distribution of the proposed building heights is satisfactory and its visual impact is minimised.</p> <p>The proposed buildings also provide appropriate building separation to the residential flat buildings approved to the adjoining site to the south (JRPP-15-02107 at 38 Cudgegong Road) and the Concept Approval for residential flat buildings approved to the adjoining site to the north (JRPP-15-01543 at 60 Cudgegong Road and 99-107 Rouse Road, Rouse Hill). The apartments are suitably designed to protect the visual privacy of each of these developments.</p> <p>The proposal also affords appropriate solar access to the buildings and open space to the approved residential flat buildings approved to the adjoining site to the north (JRPP-15-01543 at 60 Cudgegong Road and 99-107 Rouse Road, Rouse Hill) as shown on the Shadow Diagram Plans DA730, DA731 and DA740 at attachment 5.</p>
c. To facilitate higher density development in and around commercial centres and major transport routes.	<p>The site is to the north of the Sydney Metro Northwest rail link, and the future Cudgegong Local Centre and Tallawong Railway Station are to the south-west on the opposite side of Cudgegong Road.</p> <p>The buildings contain 711 dwellings in the form of townhouses and apartments which is representative of the density and housing demand anticipated for this site. The density of this development meets this objective.</p> <p>The site and surrounds are well serviced for this form of residential development. The development offers an interesting and modern design which is supported by carefully considered passive and recreational outdoor areas to create a favourable living environment for this increased residential population.</p>

2 The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary

The purpose of the standard is still considered relevant to the proposal. However, 100% compliance in this circumstance is considered unnecessary and unreasonable given the proposal offers a balance of buildings which are also substantially lower than the permitted height of buildings and offers a unique distribution of building massing. Despite the proposed variation to height of buildings, the proposal supplies communal open space at the ground level without relying on rooftop communal open space areas, which is likely to contribute to a stronger sense of creating a neighbourhood.

To provide certainty that the objective of this standard is maintained and relevant for this site and within the Precinct, and to ensure that any further development on this site will not result in its overdevelopment, we consider the Applicant's offer to enter into a Voluntary Planning Agreement to enforce maximum building height levels on the site to be an appropriate outcome. Therefore, there is assurance that the objectives of this standard are achieved and the proposed height is supported in this instance.

3 The underlying objective or purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable

The purpose of the development standard would not be defeated if compliance was not required.

However, 100% compliance is considered unreasonable in this instance as:

- The offsetting of building height is an approach acceptable to Council officers in the past for development on sloping land, subject to a satisfactory design outcome.
- In the Land and Environment Court decision for JRPP-15-01543, the Commissioner agreed that a Building Height Offset Plan was acceptable provided there was no increase in density and the limited height of 2 to 3 storeys was enforced through a Voluntary Planning Agreement. This Voluntary Planning Agreement was agreed to by Council and the developer, was imposed as conditions of consent and executed.

The objectives of the standard, as outlined above, will still be achieved despite the variations and given they will be enforced by conditions of consent requiring the execution of the Applicant's Voluntary Planning Agreement to set maximum building height levels on the site.

4 The development standard has been virtually abandoned or destroyed by the council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable

Variations to the development standard of building height have similarly been considered in the Cudgegong Road (Area 20) Precinct of the Growth Centre:

- JRPP-15-01543 which was approved by the NSW Land and Environment Court on 15 July 2016, and later modified in MOD-17-00295 on 23 March 2018 at 60 Cudgegong Road and 99-107 Rouse Road, Rouse Hill. The approved section 4.22 (formerly s83B) Stage 1 Concept Plan is for site and road layouts, a community park and 9 building envelopes ranging from 2 storeys at the northern portion of the site, 5 to 8 storeys at the central portion of the site and 6 to 9 storeys at the southern portion of the site. The approval also included a Stage 2 application for a 5 to 7 storey residential flat building. The outcome is an increase in scale towards Tallawong Railway Station and the future Local Centre.

This site is subject to a maximum permitted building height of 16 m under the Growth Centres SEPP. The approval allowed for a maximum building height limit of 31 m, being 15 m or 94% greater than the development standard for the site.

However, it is noted that in the Land and Environment Court decision for JRPP-15-01543, the Commissioner agreed that a Building Height Offset Plan was acceptable provided there was no increase in density and the limited height of 2 to 3 storeys was enforced through a Voluntary Planning Agreement. This Voluntary Planning Agreement was agreed to by Council and the developer, was imposed as conditions of consent and executed.

- JRPP-15-02701 which was approved by the Sydney Planning Panel on 13 February 2017, and later modified in MOD-17-00493 at 96 Cudgegong and 88-104 Rouse Roads, Rouse Hill. The approved section 4.22 (formerly s83B) Stage 1 Concept Plan is for 9 x 4 storey residential flat building envelopes, a 5,725 square metre public park, and site and road layouts.

This site is subject to a maximum permitted building height of 12 m under the Growth Centres SEPP. The approval allowed for a maximum building height limit of 15.4 m. This is 3.4 m greater than the permissible building height on the subject site, being 28%.

The Panel's reasons for supporting this building height included that the application was designed to enable future compliance with SEPP and the Apartment Design Guide and there were sufficient environmental planning grounds to justify the variation, being a better building design. The proposal was considered to be compatible with the capacity of the local road network and facilitate greater use of public transport, being in walking distance to the railway station.

Variations to building height, with the site being subject to a building height offset plan and VPA, are consistent with departures granted in the immediate vicinity of this site.

Variations to the roof structures and lift overruns are also consistent with minor departures granted elsewhere within the Growth Centre by the Sydney Planning Panel.

5 The compliance with the development standard is unreasonable or inappropriate due to existing use of land and current environmental character of the particular parcel of land. That is, the particular parcel of land should not have been included in the zone

Full compliance with the development control could be achieved, subject to the deletion of 1 to 3 levels of the applicable buildings. In the context of this Precinct, the topography of the land must be considered. The proposal is for the redevelopment of a substantially sized site and offers a masterplanned approach which creates a connected and cohesive residential neighbourhood. This is a unique approach which breaks up the monotony of building forms and is a positive contribution to the Cudgegong Road (Area 20) Precinct Plan, and is characteristic of the environmental character of this medium density zoned land which is in the immediate vicinity of the future Cudgegong Local Centre and Tallawong Railway Station.

This area is in transition and compliance would be unreasonable in the circumstances given the proposal is underpinned by the Applicant's offer to enter into a Voluntary Planning Agreement to enforce maximum building height levels on the site, and we have certainty that this is the maximum building height, massing and density on this site.

On its own, the Applicant's Clause 4.6 request to vary this development standard is insufficient to address the proposed height breach. Given the scale of the development and the importance of its location, the Applicant and Council agree to impose a restriction on the heights of the development so as to provide a public benefit associated with certainty of planning outcomes for the land and impacts on adjoining property and public space.

This is to ensure that the building envelopes remain as approved in the future and are not varied to create greater or uncertain impacts on the surrounding locality and community space proposed.

To support the Clause 4.6 request and to provide certainty that there will not be any further development on this site which will increase the building height, massing and density and result in its overdevelopment, we consider the Applicant's offer to enter into a Voluntary Planning Agreement to enforce maximum building height levels on the site to be an appropriate outcome.

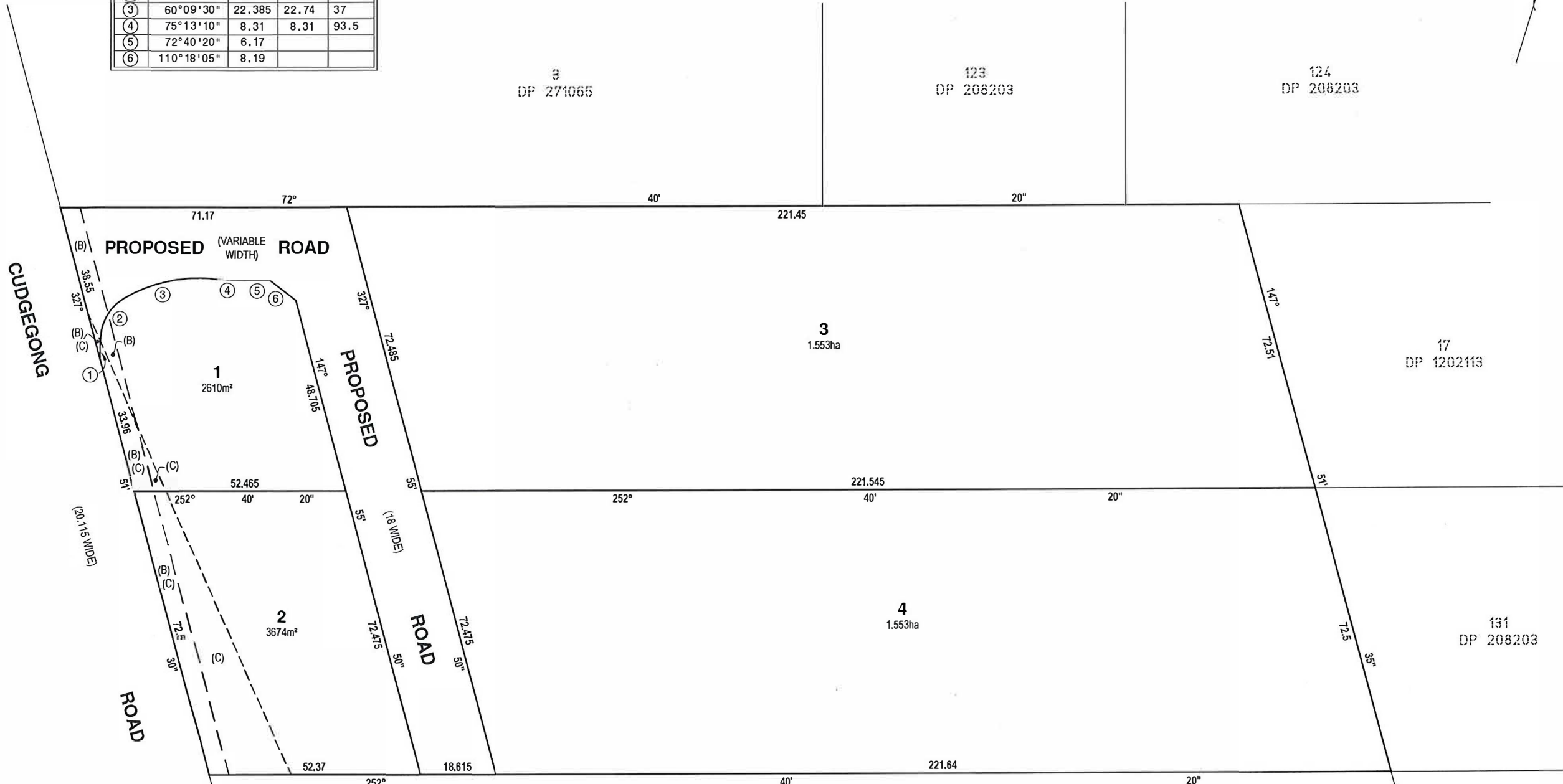
On this basis, the proposed height is supported and is considered to result in a better planning outcome.

Based on the above assessment, as the development is underpinned by the execution of a Voluntary Planning Agreement to enforce maximum building height levels to provide certainty that there is no further increase to building height, massing and density on this site, the Clause 4.6 variation request is considered reasonable, well founded and is recommended for support.

DRAFT
NOT FOR LPI EXAMINATION

SCHEDULE OF SHORT & CURVED LINES				
No.	BEARING	DIST	ARC	RADIUS
①	345°12'25"	5.76	5.76	82
②	14°53'05"	10.68	11.105	11.5
③	60°09'30"	22.385	22.74	37
④	75°13'10"	8.31	8.31	93.5
⑤	72°40'20"	6.17		
⑥	110°18'05"	8.19		

APPROVED PLAN OF SUBDIVISION: STAGE 1



BLACKTOWN CITY COUNCIL
Development Consent No: DA-17-02743
This document forms part of the above approval issued under Section 4.16 of the Environmental Planning and Assessment Act, 1979. This document must not be used or relied upon for construction purposes.
Kerry Robinson
General Manager
per: *[Signature]*

- (B) PROPOSED EASEMENT FOR MAINTANENCE PURPOSES 4.76 WIDE
(C) EASEMENT FOR TRANSMISSION LINE 30.48 WIDE (F455376)

- NOTES:
1. ALL DIMENSIONS & AREAS ARE SUBJECT TO FINAL SURVEY
2. FINAL PLAN MAY INCLUDE VARIOUS EASEMENTS, COVENANTS & RESTRICTIONS SUBJECT TO DA APPROVAL

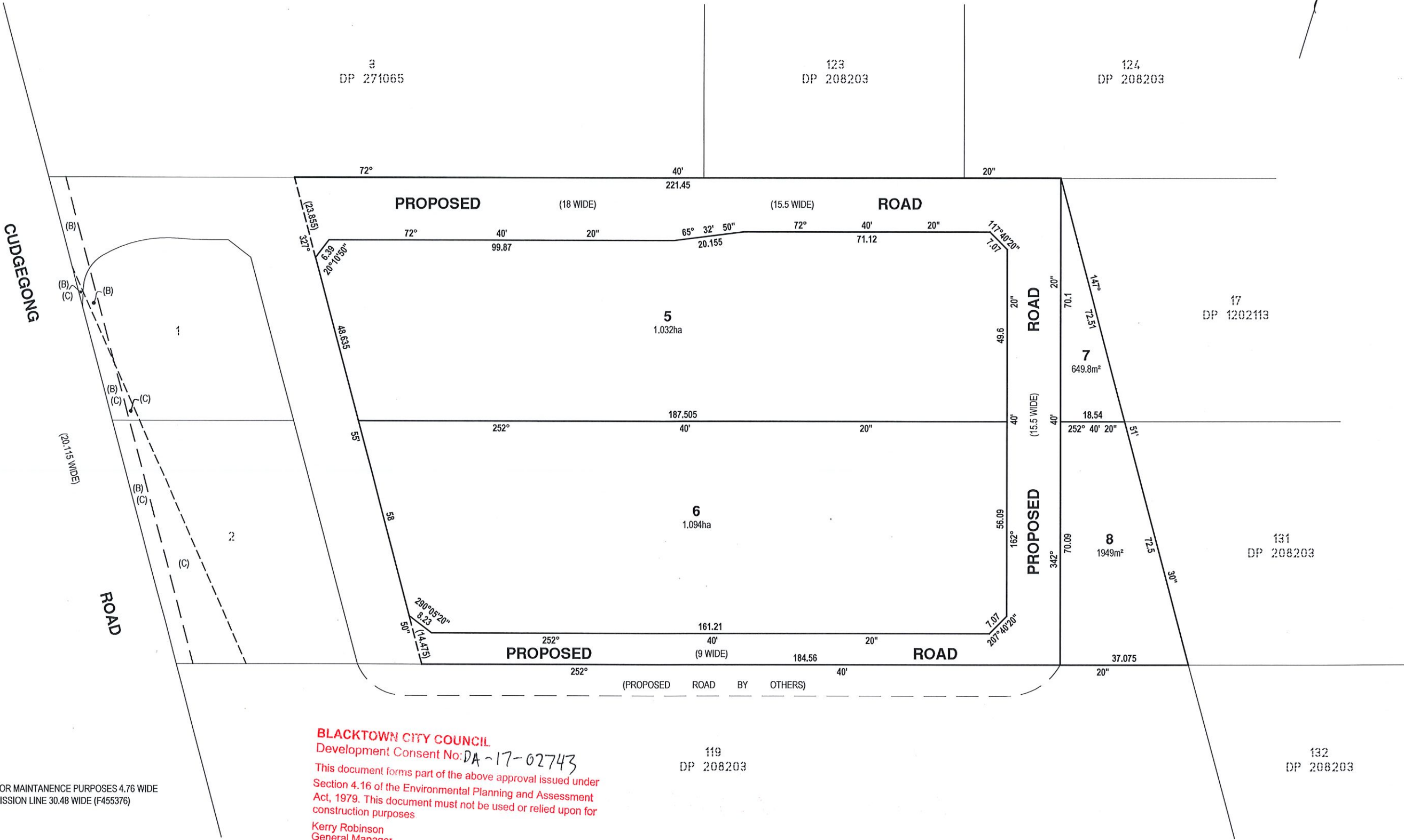
Surveyor: CRAIG TURNER Date of Survey: 18/12/2017 Surveyor's Ref: 7515	PROPOSED PLAN OF SUBDIVISION OF LOTS 117 & 118 IN DP 208203	LGA: BLACKTOWN Locality: ROUSE HILL Reduction Ratio 1:800 Lengths are in metres.	REGISTERED	DP DRAFT ISSUE: A
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Attachment 9

DRAFT
NOT FOR LPI EXAMINATION

STAGE 2

APPROVED PLAN OF SUBDIVISION: STAGE 2



(B) PROPOSED EASEMENT FOR MAINTANENCE PURPOSES 4.76 WIDE
(C) EASEMENT FOR TRANSMISSION LINE 30.48 WIDE (F455376)

BLACKTOWN CITY COUNCIL
Development Consent No: **DA-17-02743**
This document forms part of the above approval issued under
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Act, 1979. This document must not be used or relied upon for
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Kerry Robinson
General Manager
per: **M**

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COVENANTS & RESTRICTIONS SUBJECT TO DA APPROVAL

Surveyor: CRAIG TURNER Date of Survey: 18/12/2017 Surveyor's Ref: 7515	PROPOSED PLAN OF SUBDIVISION OF LOTS 3 & 4 IN STAGE 1 OF PROPOSED SUBDIVISION OF LOTS 117 & 118 IN DP 208203	L G A: BLACKTOWN Locality: ROUSE HILL Reduction Ratio: 1:800 Lengths are in metres.	REGISTERED	DP DRAFT ISSUE: A
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